

AN ORDINANCE

AN ORDINANCE PURSUANT TO TITLE 5, CHAPTER 3, SECTION 5-3-150, SUBSECTION 3, OF THE CODE OF LAWS OF SOUTH CAROLINA, 1976, AS AMENDED, TO ANNEX THE AREA IDENTIFIED AS TMS 233-08-03-017, 233-08-03-018, 233-08-03-043, 233-08-03-035, 233-00-00-057, 233-08-03-021, 233-08-03-022, 233-08-03-055, 233-08-03-054, 233-08-03-020, AND 233-08-03-024 LOCATED OFF BERKELEY FARMS ROAD AND COLLEGE PARK ROAD, INTO THE CITY OF GOOSE CREEK, A SOUTH CAROLINA MUNICIPAL CORPORATION

WHEREAS, the City of Goose Creek, South Carolina (the "City") is a municipal corporation created under the laws of the State of South Carolina, that is duly empowered to extend its municipal boundaries through annexation; and

WHEREAS, a proper petition under Section 5-3-150(3) of the Code of Laws of South Carolina 1976, as amended (the "SC Code") has been filed with the City Council by each of the persons owning 100 percent of the properties hereinafter described; and

WHEREAS, the combination of the petitioning owners (as a collective group) are contiguous to the City's existing municipal boundary; and

WHEREAS, the City, consistent with Section 5-3—310 of the SC Code, may elect, at its sole option, to provide the service formerly provided by another jurisdiction within the annexed area by providing reasonable written notice that City elects to displace such provider; and

WHEREAS, upon the annexation of the properties contemplated by this Ordinance, the City Council intends to provide and serve the annexed properties with all available municipal services; and

WHEREAS, City Council believes that annexation of the properties would be in the best interest of the property owners and the City of Goose Creek; and

WHEREAS, following proper notice, publication and public hearing(s), the City's Planning Commission recommends that the properties be assigned a zoning classification of Planned Development (PD).

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Council of the City of Goose Creek, South Carolina, this day of October 2024, as follows:

1. The properties herein described below (collectively, the "Properties") are hereby annexed to and become a part of the City as of the date of enactment of this Ordinance:

TMS Number:	233-08-03-017
Property Description:	All of that lot of land in Berkeley Farms Subdivision, Berkeley County, S.C., about six miles from the Town of Summerville, and being known as Lot 21B, Berkeley Farms, butting and bounded as follows: on the North 308 feet by lands of West Virginia Pulp and Paper Company (Westvaco); on the East 289,8 feet by Lot #22 of Thomas E. Walker; on the South 305.5 feet by Lot 21A of Elizabeth W. Kennedy; and on the West 231.8 feet by Lot #20 of DeHarness.
	TOGETHER with an easement as a means of ingress and egress forth (40') feet in width from the within described lot across Lot 21A to Berkeley Farms Road.
	Being the same property conveyed to grantor and grantee by deed of Elizabeth W. Kennedy dated January 31, 1976, which is recorded in the RMC Office for Berkeley County, South Carolina, in Deed book A-303, at Page 66.

TMS Number: 233-08-03-018

Property Description:

ALL that certain piece, parcel or lot of land, together with the buildings and improvements thereon, situate, lying and being in Second Goose Creek Tax District No. Eight, Berkeley County, South Carolina, containing 0.95 acres, more or less, as more particularly shown and delineated on a plat entitled "SUBDIVISION SURVEY OF 0.095 ACRES SURVEYED AT THE REQUEST OF JEAN BETTY HEBER, 2ND GOOSE CREEK PARISH, BERKELEY COUNTY, SOUTH CAROLINA", prepared by William H. Dennis RLS, dated December 8, 1998, and recorded in the RMC Office for Berkeley County in plat Cabinet N, at Page 397-A; said lot having such size, shape, dimensions, buttings and boundings as will by reference to said plat more fully appear.

THE within described property is conveyed subjects to easements, restrictions, covenants, conditions and matters of record, including, without limitation, the following: matters set forth on the plat referred to above as the same may affect the within property; rules and regulations of applicable governmental authorities; real property taxes for the year of delivery hereof.

BEING the same property conveyed to the Grantors herein by way of Deed of Distribution of the Estate of May K. Yaeger dated August 4, 1999 and recorded August 9, 1999 in Book 1714, page 314 in the ROD Office for Berkeley County.

TMS Number:

233-08-03-035 & 233-08-03-043

Property Description:

ALL that certain piece, parcel or lot of land, together with all buildings and improvements thereon, situate, lying and being in Second Goose Creek Tax District No. Eight, Berkeley County, South Carolina, containing 1.10 acres, more or less, and designated as Lot NO. 1, on a plat entitled "PLAT OF 2.21 ACRES SRUVEYED AT THE REQUEST OF MARY K. YAEGER", prepared by William H. Dennis, R.L.S., on August 18, 1986, and revised August 29, 1986, and recoded in File Cabinet F at page 274; and having such shape, form, coursed, distances, buttings, boundaries and delineations as are more fully shown on said plat.

BEING the same property conveyed to Carl H. Kennedy and Elizabeth W. Kennedy by deed of Elizabeth W. Kennedy, dated January 20, 1990 and duly recorded in the RMS Office for Berkeley County in Book A-482, Page 223.

TMS Number:

233-00-00-057

Property Description:

ALL that certain piece, parcel or tract of land, together with any improvements thereon, situate and being in the County of Berkeley, State of South Carolina, designated as "TRACT TOTAL AREA 714,356 SQ. FT. (16.398 AC.)" on a Plat by Raymond B. Dawber, SCPLS, entitled "Recombination Plat for RCB Development 888 College Park Road, Summerville, Berkeley County, SC 29486 TMS # 233-00-00-057, 233-08-03-034, -032, -031, -030, -027" dated February 10, 2023, and recorded in the ROD Office for Berkeley County, South Carolina on May 11, 2023 in Instrument No. 2023013781.

Being the same property conveyed to 888 College Park Rd, LLC by deed of JKW Properties, LLC dated August 15, 2022 and recorded August 16, 2022, in Berkeley County ROD Office in Book 4337, page 529.

TMS Number: 233-08-03-021
Property Description: All that certain piece, parcel or lot of land, together with the buildings and improvements thereon, situate lying and being in the College Park Area in Berkeley County, South Carolina, MEASURING AND CONTAINING 3.229 acres, more or less, and designated as Lot 19 on a plat entitled "SURVEY OF LOT 19 OWNED BY (TMS 233-08-03-021) THOMAS C. JONES JR. AND THE CREATION OF LOT 19A BEING CONVEYED TO MY GRAND DAUGHTER JOANNA LYNN JONES, COLLEGE PARK AREA, BERKELEY COUNTY, SOUTH CAROLINA" dated January 24, 2012, prepared by Paul C. Lawson, Jr., Surveyor No. 14191, Ashley Land Surveying, Inc., No. 002179 and recorded in the Office of the Register of Deeds for Berkeley County in Plat Cabinet P, Page 62P.

Said tract having such size, shape, dimensions, buttings and boundings and easements as reference to said plat will more fully appear, which plat is made a part and parcel of this legal description by reference.

Being the same property conveyed to Joanna Lynn Jones by deed of Thomas C. Jones, Jr., dated March 8 2021, and recorded in the Office of the Resister of Deeds for Berkeley County on March 8, 2012 in Volume 9354 at Page 24.

TMS Number: 233-08-03-022 & 233-08-03-055
Property Description: TMS# 233-08-03-055 – 4.60 ACRES, MORE OR LESS, BERKELEY FARMS, BERKELEY COUNTY, SC

ALSO

TMS# 233-08-03-022 – 1.00 ACRES, MORE OR LESS, BERKELEY FARMS, 160 BERKELEY FARMS ROAD. SUMMERVILLE, SC 29483
BERKELEY COUNTY

Being the same property devised to Joanna Ridgeway by Thomas Clyde Jones, Jr. as evidenced by Deed of Distribution dated August 27, 2013 and recorded August 27, 2013 in Berkeley Country ROD Office in Volume 10337, page 304.

TMS Number: 233-08-03-054
Property Description: All that certain piece, parcel or lot of land, designated as Lot 1A, together with all improvements situate, lying and being in the College Park area, Berkeley County, South Carolina, measuring and containing one and five hundred eighty-five thousandths (1.585) acres which is more accurately depicted on an plat by Paul C. Lawson, Jr. Dated January 24, 2012 recorded in Plat Cabinet P, Page 62P.

A portion of TMS 233-08-03-021

Being the same property conveyed to Joanna Lynn Jones by Deed of Thomas C. Jones, Jr. dated January 27, 2012 and recorded February 7, 2012 in the Berkeley County ROD Office in Volume 9307, page 93.

TMS Number: 233-08-03-020

Property Description:

All that certain piece, parcel or lot of land, with any and all improvements thereon, situate, lying and being in the College Park Area, County of Berkeley, State of South Carolina, measuring and containing 1.09 acres, more or less, shown and designated as LOT "20A" on a Plat entitled "SUBDIVISION SURVEY OF TMS 233-08-03-020 CONTAINING 2.31 ACRES BEING LOT 20 BLK A BERKELEY FARMS SUBDIVISION LOCATED AT 146 BERKELEY FARMS ROAD DIVIDED INTO LOT "20A" 1.09 ACRE FOR JENNINGS BOAN AND LOT "2B" 1.22 ACRE FOR ALICE NANNETTE DUBOSE," prepared by J. Hugh Campbell; Jr. PLS No.: 7615, dated January 12, 2010, revised March 13, 2010, revised August 23, 2010, recorded on. January 27, 2011 and found of record in the Office of the Register of Deeds for Berkeley County, South Carolina, in Plat Cabinet Oat Page 187P.

Said tract having such size, shape, dimensions, buttings and boundings and easements as reference to said plat will more fully appear, which plat is made a part and parcel of this legal description by reference; SAVING AND EXCEPTING from the general description above that certain strip of land containing 1,559 SF (0.036 acres) along the right of way of Berkeley Farms Road acquired by the South Carolina Department of Transportation, PIN 38779 RD01, Tract 50.

SUBJECT to any and all restrictions, covenants, conditions, easements, rights of way and all other matters affecting subject property of record in the Office of the Register of Deeds for Berkeley County, South Carolina including the general utility and ingress/egress easement as shown on said plat above.

Being the same property conveyed to Joanna Ridgeway by deed of Trevor D. Ridgeway dated November 29, 2022 and recorded November 29, 2022 in Berkeley County ROD at Book 4424, page 324.

TMS Number:

233-08-03-024

Property Description:

All that certain piece, parcel or lot of land, together with all buildings and improvements thereon, situate, lying and being in Berkeley Farms Subdivision, in the County of Berkeley, State of South Carolina, about six (6) miles South of the Town of Summerville, and being more particularly shown and designated as Lot 5 on that certain plat entitled: "Map of Driggers Tract, Owned by Jack Blackwell, et al, near Mt. Holly, Berkeley County, South Carolina", dated April 15, 1955, by W.L. Gaillard, Surveyor, recorded in the RMC Office for Berkeley County in Plat Book I, at Page 153. Said Lot 5 contains 4.13 Acres as shown on said plat.

Being the same property conveyed to 888 College Park Rd, LLC by deed of MidFirst Bank, dated March 8, 2023 and recorded March 9, 2023 in Book 4500, page 962 in the Berkeley County ROD Office.

In addition to the Properties, all public rights of way, streets, highways, and easements included in the territory hereby annexed are additionally annexed into the City.

2. Based on the recommendation of the City's Planning Commission, each of the Properties shall be assigned a zoning classification of Planned Development (PD) as described in Exhibit A.


3. The City intends to provide all available municipal services to the Properties. In keeping therewith, the City, acting through the Mayor or his assigns, shall be authorized to notify all necessary parties of the annexations authorized by this Ordinance and the City's intention to provide all applicable services to the Properties. The Mayor or his assigns shall be further authorized to negotiate, execute and deliver any necessary agreement to memorialize the terms and provisions of any agreement contemplated by Section 5-3-311 of the SC Code in lieu of any plan to balance equities and interest under Section 5-3-312 of the SC Code. To the extent any funding is or will be committed under such agreement, and funds therefore are not otherwise budgeted in the City's then-existing budget, such funding commitment shall be subject to further approval and ratification by City Council but should not otherwise affect or limit the terms of any agreement between the City and any displaced service provider.

4. If any section, subsection, sentence, clause or phrase of this Ordinance is, for any reason, held or determined to be invalid, such decision shall not affect the validity of the remaining portions of this Ordinance.

5. This ordinance shall become effective immediately upon enactment.

INTRODUCED the 10th day of September 2024.

DONE the 8th day of October 2024.



Mayor Gregory S. Habib

Attest: 

Kelly J. Lovette, MMC, City Clerk




Mayor Pro Tem Debra Green-Fletcher



Councilmember Jerry Tekac



Councilmember Christopher Harmon



Councilmember Gayla S.L. McSwain



Councilmember Hannah J. Cox



Councilmember Melissa Enos-Sims

A background image showing a paved road with double yellow lines curving to the right, bordered by grass and trees under a blue sky with white clouds. The image is framed with rounded corners.

DEVELOPMENT GUIDELINES
FOR
BERKELEY FARMS PD
GOOSE CREEK, SOUTH CAROLINA

APPROVED:

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Introduction and Background Information

Executive Summary

The Berkeley Farms Planned Development (PD) is intended to align with the goals of the City of Goose Creek's Comprehensive Plan adopted May 11, 2021 and amended February 13, 2024. The PD has two zoning areas which are the Commercial District (CD) and the Residential District (RD). It will allow for flexibility in a residential/commercial design to create a mixed-use community. The PD will emphasize interconnectivity and walkability. The residential and commercial districts are designed to compliment one another providing future residents a place to live, work and play in one walkable community.

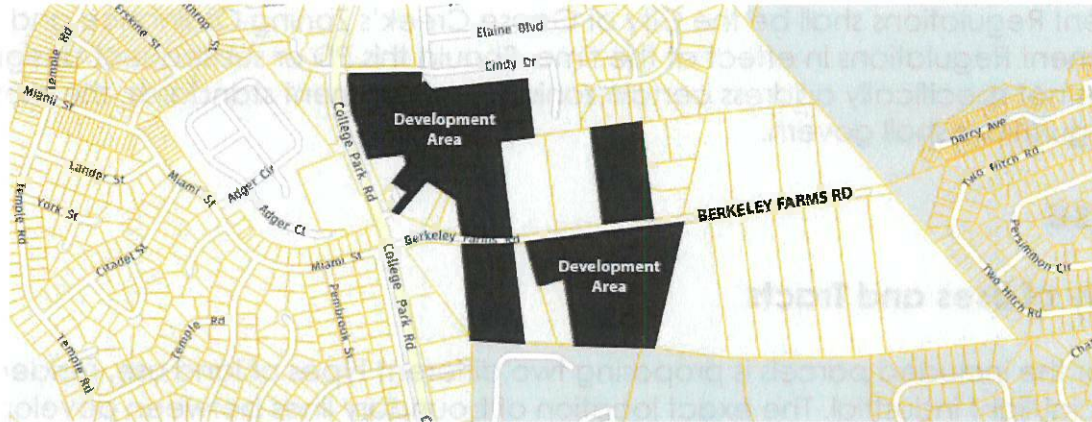
Goals for the Project

The PD has two zoning areas, the CD and RD. The development goal for this project is to align with the goals of the City of Goose Creek's Comprehensive Plan. The project area is a part of the proposed Annexation Phase 1 area mentioned within the Comprehensive Plan and ties into the College Park Road target area. The RD portion of the community will be comprised of homes off of Berkeley Farms Road. The CD portion will be comprised of mixed commercial and light industrial along College Park Road. These homes will help provide an attainable housing option to most while also helping with providing the "missing middle housing" type mentioned within the Comprehensive Plan. The RD is intended to be a safe and easily walkable development with direct access to the CD where goods and/or services can be found. The residential portion is proposed to have an amenity component giving this project a live/work/play feeling. There will be sidewalks throughout the residential area connecting to all internal amenity features as well as to Berkeley Farms Road and College Park Road. A multi-use path is proposed as well to ensure not only increased walkability but also other forms of movement such as cycling. Each of the development areas shall have adequate circulation to allow for ease of access and safe travel for all users including emergency services. The natural features (i.e. wetlands) on site have been carefully planned around and incorporated into the majority of the proposed open space areas. The PD site as a whole will result in a balanced development that allows for all users/residents to feel comfortable and accommodated.

Project Location

The development is located to the East of College Park Road, along Berkeley Farms Road, with portions of it located on either side of Berkeley Farms Road with the CD having frontage on College Park Road. All of the individual tracts are currently in Berkeley County and are intended to be annexed into the City of Goose Creek. The project is comprised of 11 parcels that will come together as one development under this PD.

See Location map below and Exhibit A - Existing Conditions



Area Map (not to scale)

Background Information

The Site consists of 36.25 gross acres. It is comprised mostly of lightly developed parcels. There are existing structures on the parcels which are intended to be removed as the project develops. The entrance to the different portions of the development will be off of Berkeley Farms Road.

The properties included within the PD have the following TMS's:

PLOT ACREAGE		
TMS #'S	OWNER	GROSS ACREAGE
233-00-00-057	888 College Park Rd LLC	16.40
233-08-03-024	888 College Park Rd LLC	4.13
233-08-03-018	Jean Betty Heber	0.95
233-08-03-043	Jean Betty Heber	0.45
233-08-03-035	Jean Betty Heber	0.79
233-08-03-017	Jean Betty Heber	2.03
233-08-03-020	Joanna Ridgeway	1.09
233-08-03-021	Joanna Lynn Jones	3.22
233-08-03-054	Joanna Lynn Jones	1.59
233-08-03-055	Joanna Ridgeway	4.60
233-08-03-022	Joanna Ridgeway	1.00

The project is currently located within Berkeley County and the current zoning designation for parcel 233-00-00-057 is General Commercial with all other parcels being zoned R-2 - Manufactured Residential District. All parcels under Berkeley County jurisdiction have been submitted for annexation into the City of Goose Creek. The annexation of these parcels into the City of Goose Creek would align with the Comprehensive Plans annexation goals of increasing tax base and revenue opportunities in the City.

Relationship to the Zoning Ordinance of the City of Goose Creek

The Current Regulations shall be the City of Goose Creek's Zoning Ordinance and Land Development Regulations in effect at the time. Should this PD or subsequent design guidelines not specifically address certain zoning/development standards, the most current zoning regulations shall govern.

Land Use

Flexibility of Uses and Tracts

The PD for the included parcels is proposing two different types of land use, residential and commercial/light industrial. The exact location of boundary lines between development areas, the location and size of land uses indicated within the planned areas, and the preliminary design concepts for the tracts and uses described in this PD shall be subject to change as phases of the Development Plan are submitted for final review over the life of the Project; provided, however, that the maximum intensities and allowed land uses described in this Ordinance may not be changed unless approved in accordance with the City of Goose Creek's Zoning Ordinance.

Subdivision Plan Review and Approval

Preliminary plans and final plats for each phase of the development shall be submitted for review and approval by the appropriate City of Goose Creek authority.

Zoning Criteria

Berkeley Farms PD will contain both residential and commercial land uses. The PD will categorize the development into two (2) land use designations: Residential District (RD) and Commercial District (CD).

AREA BY DISTRICT	
LAND USE	TOTAL ACREAGE
Residential District (RD)	23.68
Commercial District (CD)	12.57
	36.25

Residential District (RD)

The RD seeks to allow for housing options that will appeal to a wide range of people and be an attainable option for most. The interest expressed in the City of Goose Creek's Comprehensive Plan by the public for more compact living styles and the well laid out guidance for both multi-family and townhomes led to the standards for the RD. These standards will allow for a cozy community feel with opportunities for walking and becoming close knit neighbors. The RD will allow for both single-family attached and detached homes and multi-family buildings. This district will also include an amenity area for recreation and socialization within the community. Open space in this area may consist of but is not limited to the amenity area, active and passive recreation and stormwater detention facilities.

Materials used in the RD shall follow the below recommendations as per the City of Goose Creek's Zoning Ordinance - Section Nine: Form, Design & Operational Standards - (H) Architectural Design Standards - (5) Building Design - (h) & (i).

Recommended Materials:

- Natural materials: wood, brick, terra cotta, stone (cast or cut).
- Decorative concrete block (CMU), textured with integral color
- Stucco (cement plaster), decorative.
- Fiber cement siding.
- Exterior insulation and finishing system (EIFS) when used above storefront height.

Prohibited Materials:

- Vinyl, metal, or aluminum siding (metal siding not prohibited in commercial district).
- Exposed concrete mason units.
- Reflective materials that cause glare.
- Materials that artificially simulate natural materials.
- Diagonal siding.
- Exaggerated swirled stucco.

The RD areas will contain residential land uses and open spaces. Within the RD district, land and buildings may be erected, altered, or used for the following permitted uses:

1. Single-family attached and detached dwelling units.
2. Multi-family dwellings (no more than 300 multi-family units total may be permitted within the Berkeley Farms PD). A minimum of 8 contiguous acres is required in order to have multi-family residential. Multi-family is only allowed within the Residential District (RD) in between College Park Road and the Multi-Family build limit line as depicted on Exhibit B - Land Use.
3. Open space.
4. Accessory uses and structures are allowed per the City of Goose Creek's Zoning Ordinance Section Four: Use & Standards - 4:3 Accessory & Temporary Uses and may be further restricted within the HOA guidelines.

Disallowed Uses are as follows:

1. All non-residential zoning uses as described in the City of Goose Creek's Zoning Ordinance.

Notes:

1. Steps, balconies, patios, open stairways, entry covers, bay windows, fire boxes and decks may extend fully into setbacks, but in no instance can they extend into the right of way or drainage easements.
2. Eaves may extend two feet (2') into setbacks, however in no instance can any structure or eave extend into a Right-of-way or drainage easement.
3. Fences shall follow the City of Goose Creek's Zoning Ordinance Section Nine: Form, Design & Operational Standards - (E) Fences & Walls.
4. On-street visitor parking is encouraged throughout the community where/when

RESIDENTIAL DISTRICT	
DENSITY / INTENSITY AND DIMENSIONAL STANDARDS	
Minimum Lot Area	1,600 SF
Minimum Lot Width	20'
Minimum Lot Depth	80'
Minimum Setbacks	
Front	25'
Side	5' & 15' Corner Lots
Rear	15'
Height	75'
Minimum Parking Requirement	2 per DU

it is feasible.

Commercial District (CD)

The CD is intended to accommodate a combination of uses that will encourage a live/work/play lifestyle which will help to push forward the City's goal of encouraging this type of balance stated in the Comprehensive Plan. Among the varied uses are light industrial, retail, office, restaurant/bar restaurant, gas stations, hotel and retail/general commercial. Within the Mixed-Use Overlay District residential uses are allowed and shall follow the guidelines and dimensional standards outlined in this document.

Within the CD, land and buildings may be erected, altered, or used for the following permitted uses:

1. The uses listed above.
2. Accessory uses and structures are allowed per the City of Goose Creek's Zoning Ordinance Section Four: Use & Standards - 4.3 Accessory & Temporary Uses and may be further restricted within the POA/HOA guidelines.
3. Mixed-Use Overlay District:
 - A. Multi-family dwellings (no more than 300 multi-family units total may be permitted within the Berkeley Farms PD)

B. Uses allowed in the RD as stated in this document.

Disallowed Uses are as follows:

1. Storage facilities
2. Vape stores
3. Car sales
4. Adult businesses

COMMERCIAL DISTRICT	
DENSITY / INTENSITY AND DIMENSIONAL STANDARDS	
Minimum Setbacks	
Front	20'
Side	10'
Rear	20'
Height	75'
Minimum Parking Requirement	By Use

Parking

Parking for the CD shall comply with the City of Goose Creek's Zoning Ordinance Section Five: Site Development - 5.4: Access & Parking.

Affordable Housing

Affordable Housing Definition - Single-family, or multi-family dwelling units, used exclusively for residential uses, where occupants have, in the aggregate, household income of less than or equal to one hundred twenty (120) percent of median area income for owner occupied units, or eighty (80) percent of median area income for rental units. Median area income shall be determined annually by the U.S. Department of Housing and Urban Development. Household income shall include all sources of financial support, both cash and in kind, of adult members of the household, to include wages, salaries, tips, commissions, all forms of self-employment income, interest, dividends, net rental income, income from estates or trusts, Social Security benefits, railroad retirement benefits, Supplemental Security income, Aid to Families with Dependent Children or other public assistance or public welfare programs, other sources of income regularly received, including Veterans' (VA) payments, unemployment compensation and alimony, awards, prizes, government or institutional or eleemosynary loans, grants or subsidies and contributions made by the members' families for medical, personal or educational needs.

Single family affordable housing units shall be included in order to promote ownership or occupancy of affordable, quality housing by low-income households. Property within the RD and CD districts may be approved for subdivision and development in accordance with the density/intensity and dimensional standards of this PD. There is to be 10% of single family units minimum and 10% of multi-family units to be affordable housing. The entity developing the subject lot must construct new residential housing for the provision of affordable housing as defined above in this PD. The purchaser or tenant of the affordable household, at the time of closing or rental agreement, must meet the HUD definition of low-income. The following

standards of this Section must also be met:

1. Single Family Affordable Housing Units. For purposes of this section, single family affordable housing units shall meet the definition for affordable housing as defined above in this PD
 - As to rental units, these units shall be rented to households earning no more than eighty (80) percent of the area median income, and the rents charged by the owner shall be in accordance with the Fair Market Rents published annually by the U.S. Department of Housing and Urban Development or such entity that may be subsequently designated. In the absence of such information, the rents charged by the owner shall not exceed 30 percent of the household annual income. The owner shall be required to submit to the City of Goose Creek, or its successor, the rental rate to be charged and verified income reports of household income of all rental occupants at the inception of each tenancy and on no less than a yearly basis thereafter, as determined by the City of Goose Creek. These units shall be subject to these restrictions for no fewer than 20 years from the initial occupancy as affordable housing. The owner shall execute a Memorandum of Use with the city as a party acknowledging the use of the property for Affordable Housing in accordance with the provisions of this PD, which Memorandum shall be in a form acceptable for recording in the record office of the applicable county and which shall be recorded in the record office of the applicable county. If a proposal meets the requirements of this section and the owner is willing to enter into the terms of a Memorandum of Use contained in this paragraph, the Mayor shall be authorized so sign the Memorandum of Use on behalf of the City.
 - As to owner occupied units, these units shall be sold to households earning no more than one hundred twenty (120) percent of the area median income. Each owner, prior to initial occupancy, shall be required to submit to the City of Goose Creek, a verified income report of household income of all members of the household. These units shall be subject to resale restrictions for no fewer than twenty years from date of initial sale of the property. Such restrictions will be recorded as deed restrictions.
2. Ownership. Single family detached affordable housing units shall be sold or rented to qualified households, as described herein.

Open Space

Development Area

The requirement for open space will be 15% of the total gross acreage of the development area.

- Total Gross Acreage = 36.25 Acres*
- 36.25 Acres x 15% = 5.44 Acres*

*These calculation are subject to change based on actual future development. These calculations represent the anticipated acreages within the zoning districts in the PD. Should the land use designations need to change over time, a corresponding recalculation of open space shall be required according to above percentages or calculation guidelines within this section of the Berkeley Farms PD. These recalculations will be coordinated with Staff during the planning stage, and a summary memo will be submitted by the developer to note the changes of required open space and document the remaining requirements at the time of building permit or preliminary plat application stage for each subject parcel.

Conceptual Plan for Open Space

The open space may consist of, but is not limited to, community open spaces for passive and active recreation, event spaces (for events such as weddings, parties, etc.), walking trails, picnic areas, sitting areas, playground features, and community gardens. Event structures such as a pavilion, gazebo, or enclosed structure with associated utilities, or any combination there of may be erected on open space areas subject to HOA/POA guidelines. 50% of the total area of a created water feature, wetland or stormwater facility may be counted towards open space if it is amenitized for active and/or passive use.

Open spaces shall not all be confined to one area, but shall be blended throughout the development. The open space requirement will apply to the PD as a whole, not to each individual development parcel.

See Exhibit C - Open Space and Buffers for the conceptual open space plan.

Ownership and Maintenance of Open Space

Open space shall be privately owned and maintained by the POA (Property Owners Association)/HOA (Homeowners Association) for the use of the community.

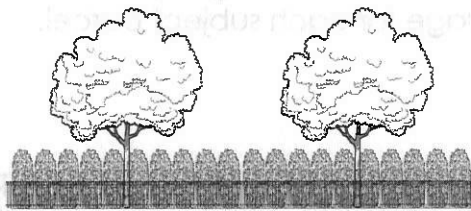
Buffers

Within the PD limits the only buffers that shall apply are those listed below and are as follows:

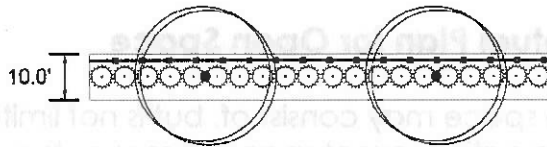
Residential District Buffer

The intent of the RD Buffer is to separate the RD from incompatible/undesirable uses - see below table, elevation and plan for details and Exhibit C for location of buffers.

RESIDENTIAL BUFFER DEPTH AND PLANTING	
Minimum Buffer Depth	10'
Minimum Buffer Landscaping	
Canopy Tree	3 per 100 LF
Evergreen Shrubs	20 per 100 LF
Opaque Fence / Wall	6' High



Elevation

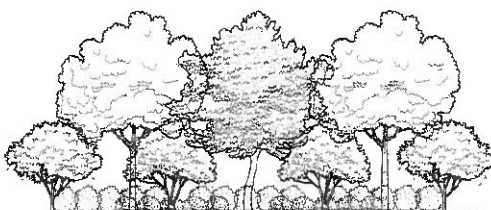


Plan

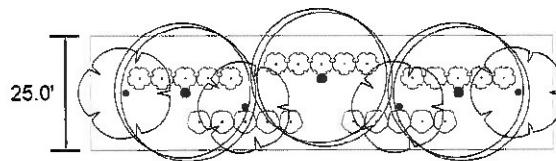
Commercial District Buffer

The intent of the CD buffer is to separate the CD from incompatible uses - see below table, plan and elevation for details and Exhibit C for location of buffers.

COMMERCIAL DISTRICT BUFFER A DEPTH AND PLANTING	
Minimum Buffer Depth	25'
Minimum Buffer Landscaping	
Canopy Tree	3 per 100 LF
Understory Tree	4 per 100 LF
Shrubs	25 per 100 LF

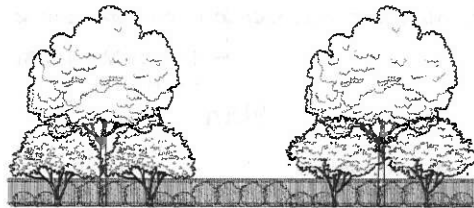


Elevation

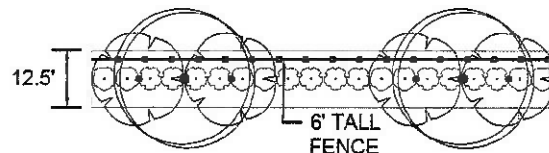


Plan

COMMERCIAL DISTRICT BUFFER B DEPTH AND PLANTING	
Minimum Buffer Depth	12.5' With A 6' Fence
Minimum Buffer Landscaping	
Canopy Tree	3 per 100 LF
Understory Tree	4 per 100 LF
Shrubs	20 per 100 LF



Elevation

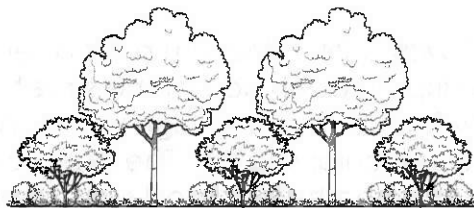


Plan

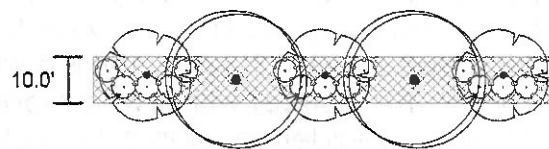
Roadside Buffer - Berkeley Farms Road

The Berkeley Farms PD Roadside Buffer shall follow the standards set forth in this section - see below table, plan and elevation for details and Exhibit C for location of buffers.

ROADSIDE BUFFER NORTH DEPTH AND PLANTING	
Minimum Buffer Depth	10'
Minimum Buffer Landscaping	
Canopy Tree	2 per 100 LF
Understory Tree	3 per 100 LF
Shrubs	15 per 100 LF
Groundcover	Throughout remaining area with spacing no greater than 36"

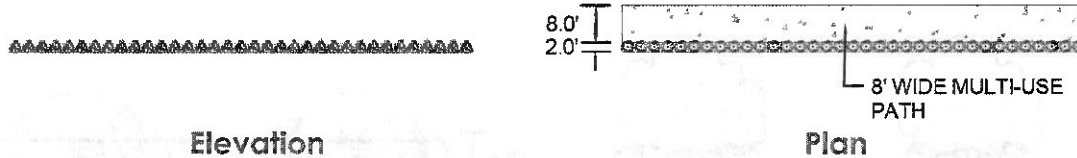


Elevation



Plan

ROADSIDE BUFFER SOUTH DEPTH AND PLANTING	
Minimum Buffer Depth	10'
Minimum Buffer Landscaping	
Walkway	8' Wide Multi-Use Path
Ornamental Grass	35 per 100 LF



Notes:

Conditional Landscaping:

1. Where parking is located adjacent to and/or visible from a public ROW a continuous evergreen hedge shall be added to the Roadside Buffer.

Tree Protection

Shall be in accordance to Section Five: Site Development - 5.1: Trees - 5.1.2: Tree Protection.

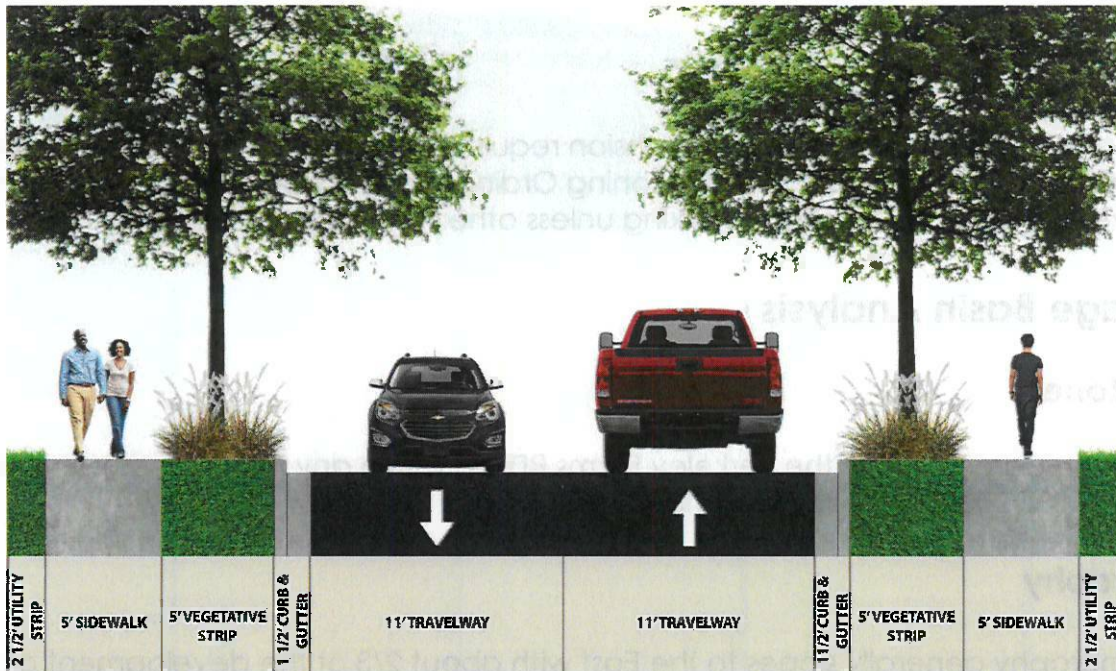
Except as listed below:

1. It will be required to have a certified arborist perform an assessment of the condition and health of existing grand trees on site. The trees shall be given a grade A, B, C, D, E or F with A being the best and F being the poorest condition and possibly dead or dying. Only grand trees graded B or below may be considered for removal and mitigation per the City of Goose Creek's Zoning Ordinance - Section Five: Site Development - 5.1: Trees - 5.1.1: Replacement and Mitigation.

Right-Of-Way

Type A Street

Type A streets shall be 50' wide. It is a private street with a 24' minimum paved section and a vertical curb. There shall be a 5' vegetative strip on each side of the street as well as sidewalks, which shall be 5' wide. This is a street with moderate to high vehicular and pedestrian traffic. It is a street with low to moderate vehicular speeds. The street provides access through the Residential District. Except as described herein, road standards with Berkeley Farms PD, shall conform to the City of Goose Creek's Land Development Regulations - Section 5.7 Private Roads. As the roads will not be accepted by the City of Goose Creek for public maintenance (per the City of Goose Creek's Land Development Regulations - Section 5.7 Private Roads (A) (3)) they may be accepted by Berkeley County if



the County so chooses.

Note:

1. Root barrier products shall be used when the distance between a proposed street tree trunk and the curb / sidewalk is less than 4 feet.

See Exhibit D - Roads and Circulation.

Sidewalks

Sidewalks throughout the development will be a minimum of 5' width on both sides of the street within the right-of-way. The sidewalks will meet the ADA requirements and ADA required ramps shall be installed at street corners with sidewalks to provide accessible routes.

Street Lights/Street Trees

Street lights shall conform to the City of Goose Creek's Land Development Regulations - 5. Design and Improvement Standards - 5.9 Illumination of Vehicular and Pedestrian Facilities. Street trees shall conform to the City of Goose Creek's Land Development Regulations - 5. Design and Improvement Standards - 5.7 Private Roads - (H) Tree Planting Along Roadways - (1) Street Trees.

Emergency/Public Service Access

All public and private rights-of-way shall accommodate emergency vehicles and public service vehicles.

Parking

Parking requirements and parking dimension requirements for Berkeley Farms PD shall conform to the City of Goose Creek's Zoning Ordinance requirements as per Section Five: Site Development - 5.4: Access & Parking unless otherwise stated within the PD.

Drainage Basin Analysis

Flood Zone

None of the parcels within the Berkeley Farms PD fall within any flood zones per FEMA Map Number 45015C0590E dated December 06, 2018.

Topography

The topography generally slopes to the East with about 2/3 of the development area being relatively gently sloping. The last 1/3 of the development slopes downward quicker than the rest continuing to the East. From West to East the drop is approximately 16 feet with the majority of that drop occurring in the RD development pods. The overall Topography of the site ranges from an approximate high elevation of 44 to 26.

Wetland Verification

The wetlands have been field located by a professional wetland scientist. An approved jurisdictional determination request has been submitted to the Army Corps of Engineers for verification.

Preliminary Stormwater Techniques

The property will be developed using on-site detention systems and best management practices for both water quantity and water quality. Proposed drainage for the site will be managed via a network of storm pipes, wet ponds, open channels and outfall structures as required for release of applicable storm events. The site's stormwater management system must meet all applicable Local, State and Federal stormwater regulations. Maintenance of the stormwater conveyances and ponds will be the responsibility of the HOA. Low impact design (LID) and Green infrastructure techniques are allowed and encouraged to address stormwater.

Traffic Study

A traffic study is being conducted by Kimley-Horn and Associates and will be reviewed by the City of Goose Creek and SCDOT. Berkeley Farms PD will implement any mitigation measures as recommended by the approved TIA (Traffic Impact Assessment).

See Appendix Item A.

Utilities

Sanitary sewer service will be provided by Berkeley County Water and Sanitation.

Potable water will be provided by Berkeley County Water and Sanitation.

Electric and natural gas service will be provided by Berkeley Electric Cooperative.

See Exhibit F - Utilities for conceptual utilities layout.

Additional Development Criteria

POA/HOA

A Property Owners Association (POA) and/or a Homeowners Association (HOA) shall be established for Berkeley Farms PD. Membership in a POA/HOA will be mandatory for any property owner. The POA/HOA(s) will incorporate its own common areas and rights-of-way and be managed and governed by each POA/HOA. The POA/HOA(s) will be funded by dues to be established in its recorded Restrictive Covenants. The POA/HOA(s) will manage the affairs of the POA/HOA(s) including the enforcement of the recorded documents and the maintenance of common areas/private rights-of-way. Common areas could include passive park space, landscape areas, and stormwater detention facilities. Berkeley County may maintain public roadways and drainage systems associated with public roadways (with exception of ponds) and any other property once dedicated and accepted by the appropriate public agency. Applicable POA/HOA(s) documents will be submitted to the Zoning Administrator or designee for review prior to the initial request for a building permit in the PD.

Signs

Signs within the development areas of the Berkeley Farms PD shall conform to the City of Goose Creek's Zoning Ordinance Section Six: Signs.

PD Amendments

Minor modifications to this PD shall conform with the City of Goose Creek's Zoning Ordinance - Section Three: Zoning Districts - PD: Planned Development District - (4) Standards for all Planned Development Zoning Districts - (e) Minor Modifications.

Berkeley Farms PD is designed with the intent to expand as adjacent properties become available. As those properties become available to annex and rezone into the PD, determinations will be made based on the current market conditions as to whether they will become part of the CD or RD.

Exhibits

- A. Existing Conditions
- B. Land Use
- C. Open Space and Buffers
- D. Roads and Circulation
- E. Signage
- F. Utilities

Appendix

- A. Traffic Impact Assessment (TIA)

See Exhibit F - Utilities for conceptual utilities layout.

Additional Development Criteria

POA/HOA

A Property Owners Association (POA) and/or a Homeowner Association (HOA) shall be established for Berkeley Farms PD. Membership in a POA/HOA will be mandatory for any property owner. The POA/HOA(s) will incorporate its own common areas and right-of-way and be managed and governed by each POA/HOA. The POA/HOA(s) will manage (as to be established in its recorded Restrictive Covenants. The POA/HOA(s) will manage the affairs of the POA/HOA(s) including the enforcement of the recorded documents and the maintenance of common areas, streets, rights-of-way. Common areas could include passive park space, landscape areas, and stormwater detention facilities. Berkeley County may maintain public roadways and drainage systems associated with public roadways (with exception of ponds) and any other property once dedicated and accepted by the appropriate public agency. Applicable POA/HOA(s) documents will be submitted to the Zoning Administrator or designee for review prior to the initial request for a building permit in the PD.

Signs

Signs within the development area of the Berkeley Farms PD shall conform to the City of Goose Creek's Zoning Ordinance Section 26C Signs.

PD Amendments

Minor modifications to this PD shall conform with the City of Goose Creek's Zoning Ordinance - Section Three, Zoning Districts - PD: Planned Development District - (a) Standards for all Planned Development Zoning Districts - (e) Minor Modifications.

Berkeley Farms PD is designed with the intent to expand on adjacent properties that are available. As those properties become available to annex and rezone into the PD, determinations will be made based on the current market conditions as to whether they will become part of the CD or RD.

LEGEND

PD BOUNDARY

PROPERTY LINE

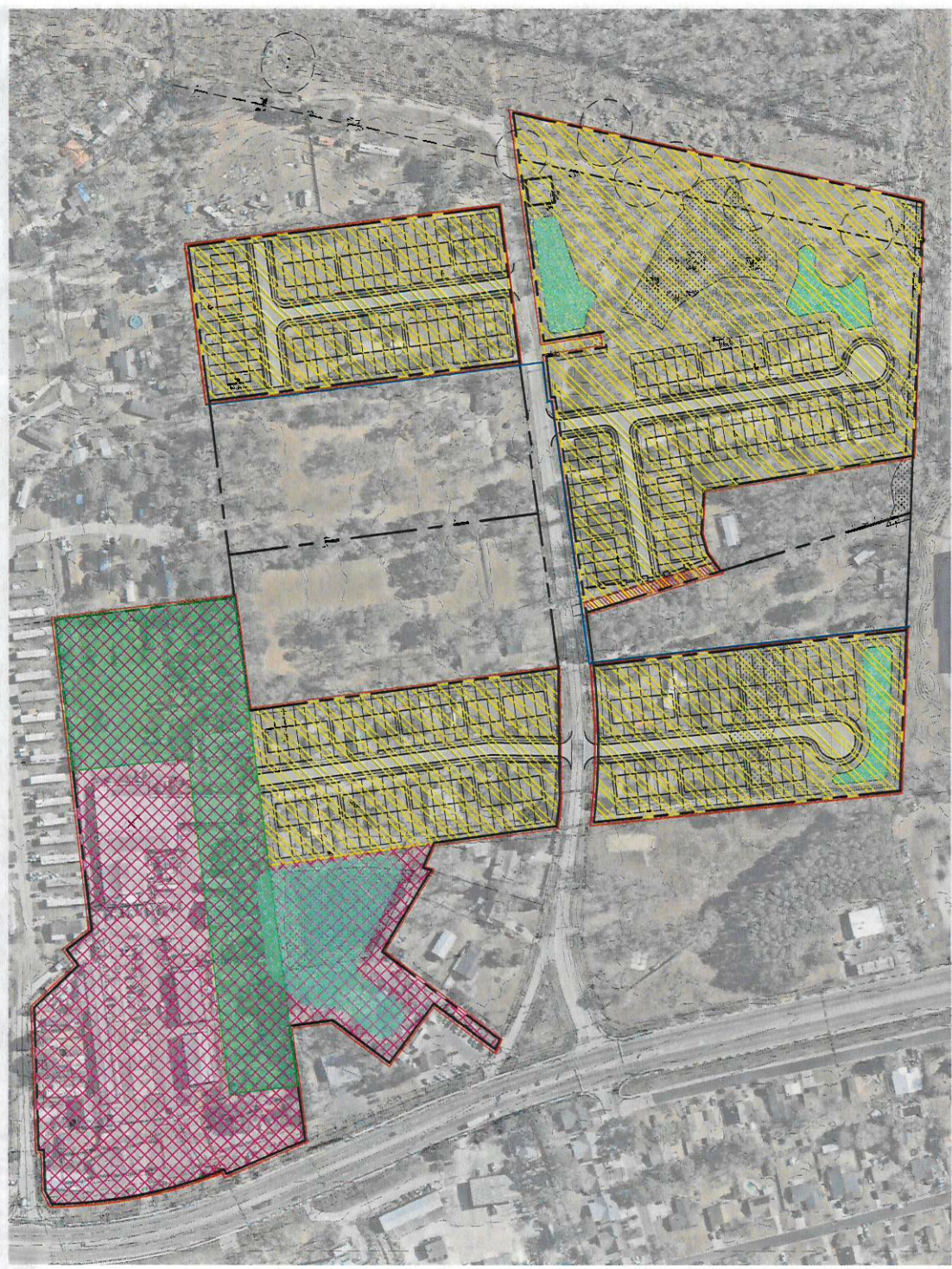
WETLANDS

EXISTING UTILITY POLE AND EASEMENT



LEGEND











- PROPERTY LINE
- PD BOUNDARY
- MULTI-FAMILY BUILD LIMIT LINE
- ▨ RESIDENTIAL DISTRICT
- ▨ COMMERCIAL DISTRICT
- ▨ PROPOSED STORMWATER PONDS
- ▨ RESIDENT ACCESS EASEMENT
- ▨ MIXED USE OVERLAY DISTRICT



NOTES

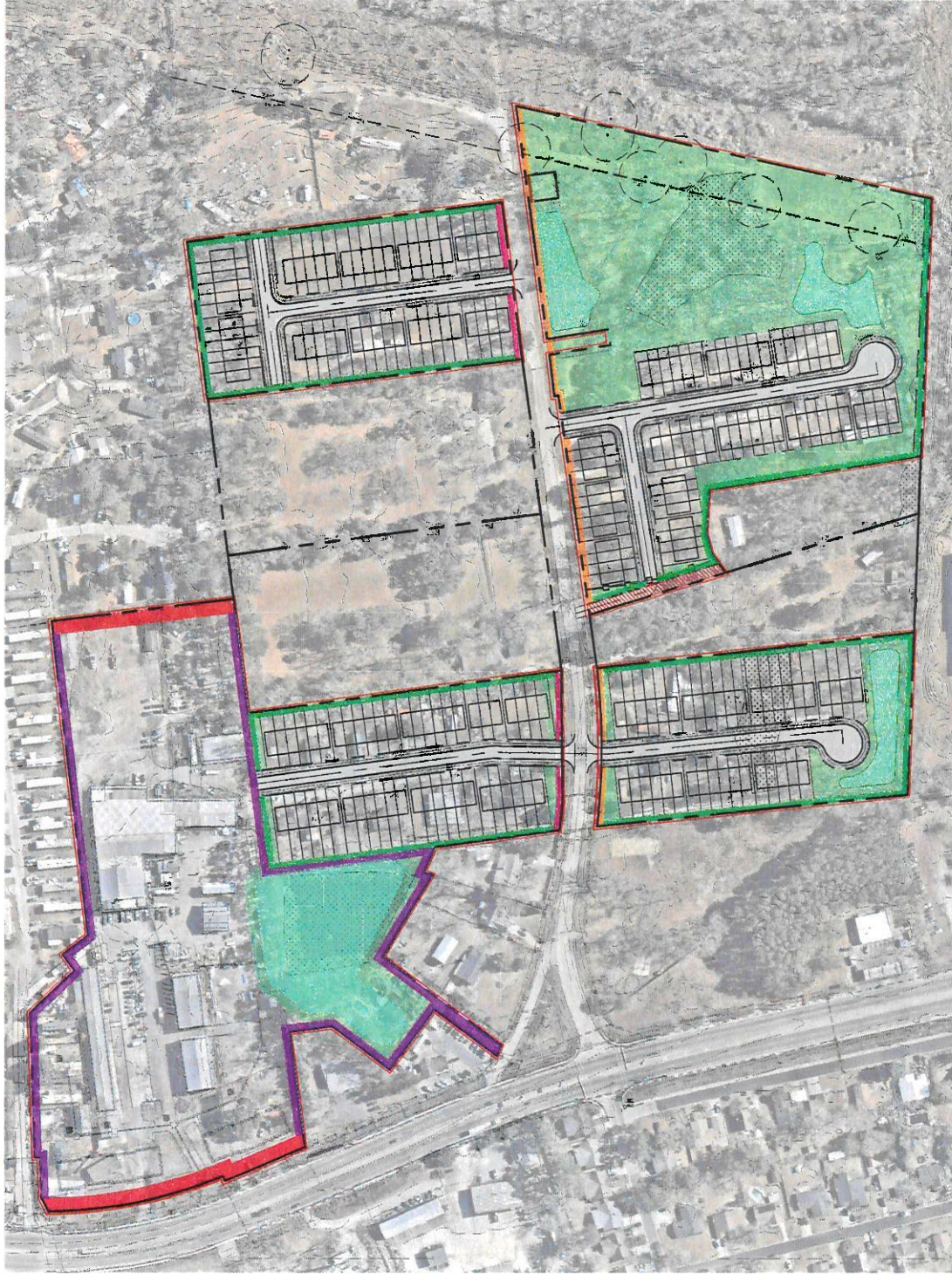
1. ACREAGES LISTED FOR LAND USES ARE APPROXIMATE AND SUBJECT TO CHANGE DURING DESIGN DEVELOPMENT AND CONSTRUCTION PERMITTING. THE OVERALL DESIGN INTENT MUST BE UPHELD AND MINIMUM ACREAGE REQUIREMENTS FOR OPEN SPACE SHALL BE ADHERED TO.
2. THIS IS A CONCEPTUAL MASTER PLAN WHICH SHOWS GENERAL LAND USE LOCATIONS. CONFIGURATIONS, COMPONENT LOCATIONS AND FINAL DETAILS ARE SUBJECT TO CHANGE DURING DESIGN DEVELOPMENT.

LEGEND





	PD BOUNDARY
	PROPERTY LINE
	RESIDENTIAL BUFFER
	ROADSIDE BUFFER NORTH
	ROADSIDE BUFFER SOUTH
	COMMERCIAL DISTRICT BUFFER A
	COMMERCIAL DISTRICT BUFFER B
	OPEN SPACE
	PROPOSED STORMWATER PONDS
	RESIDENT ACCESS EASEMENT

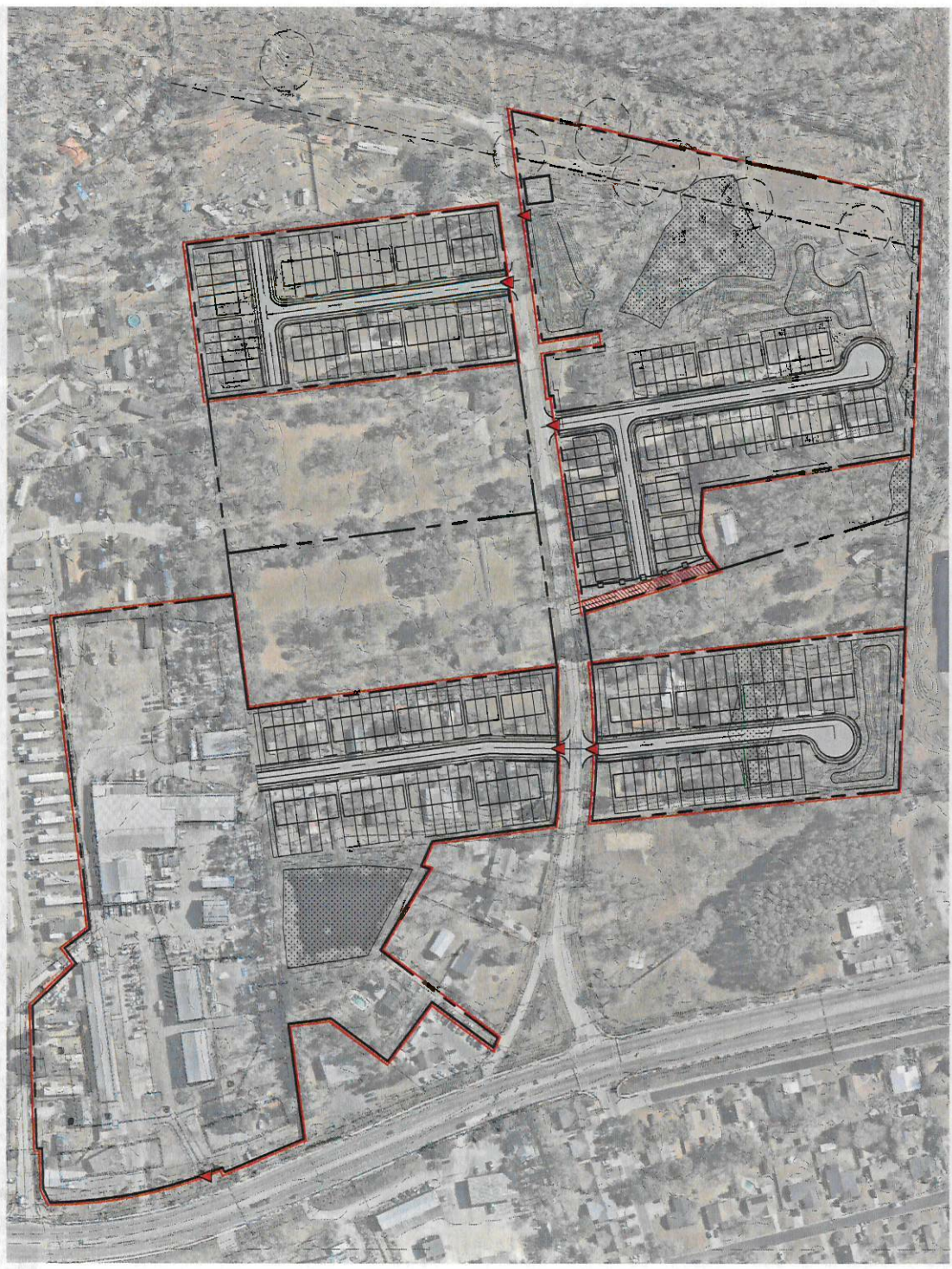
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LEGEND







-  PD BOUNDARY
-  PROPERTY LINE
-  PROPOSED ROADS
-  ENTRANCE POINTS

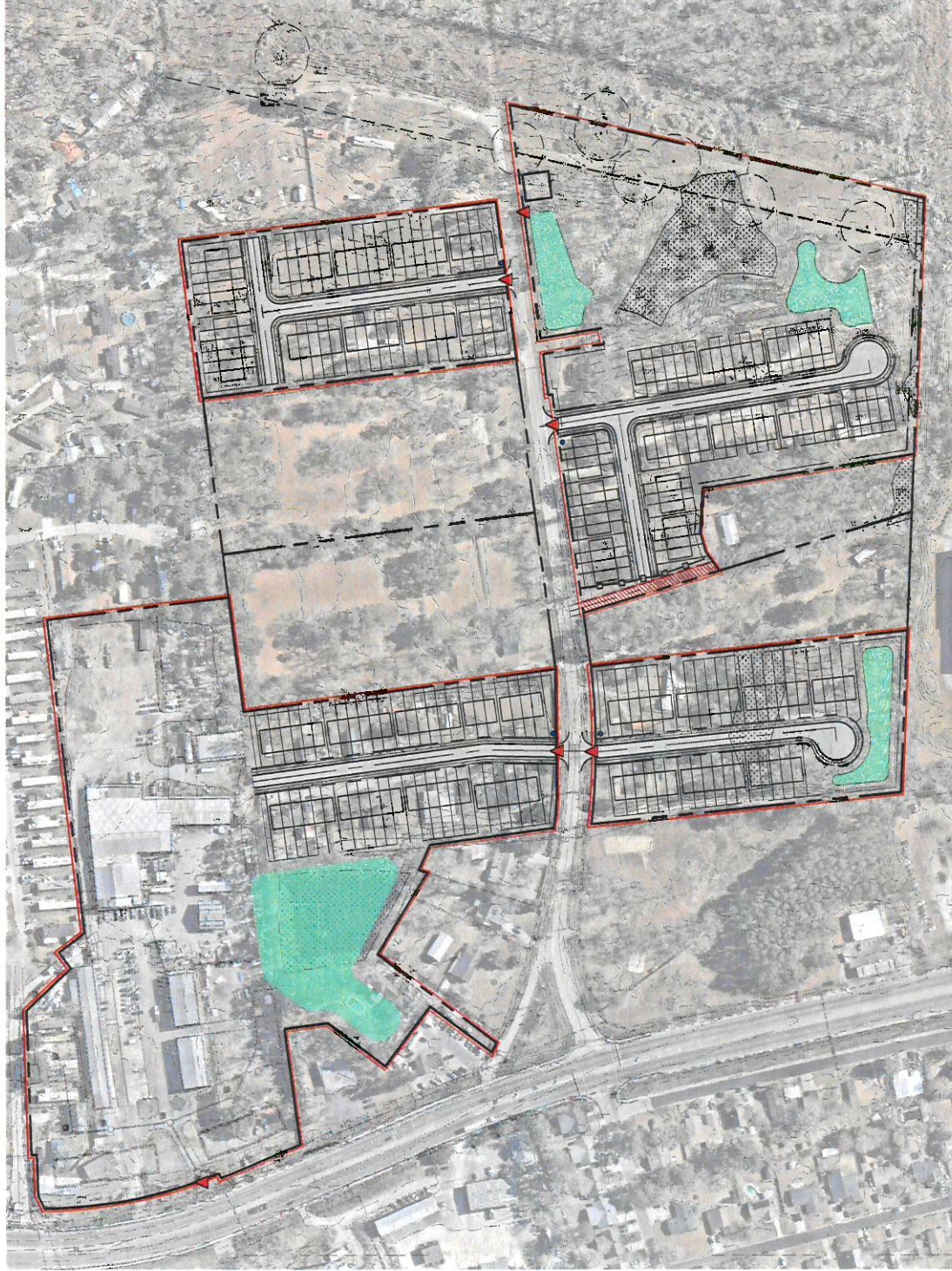


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LEGEND






-  PD BOUNDARY
-  PROPERTY LINE
-  PROPOSED ROADS
-  PROPOSED STORMWATER PONDS
-  ENTRANCE POINTS
-  PROPOSED SIGNAGE LOCATIONS

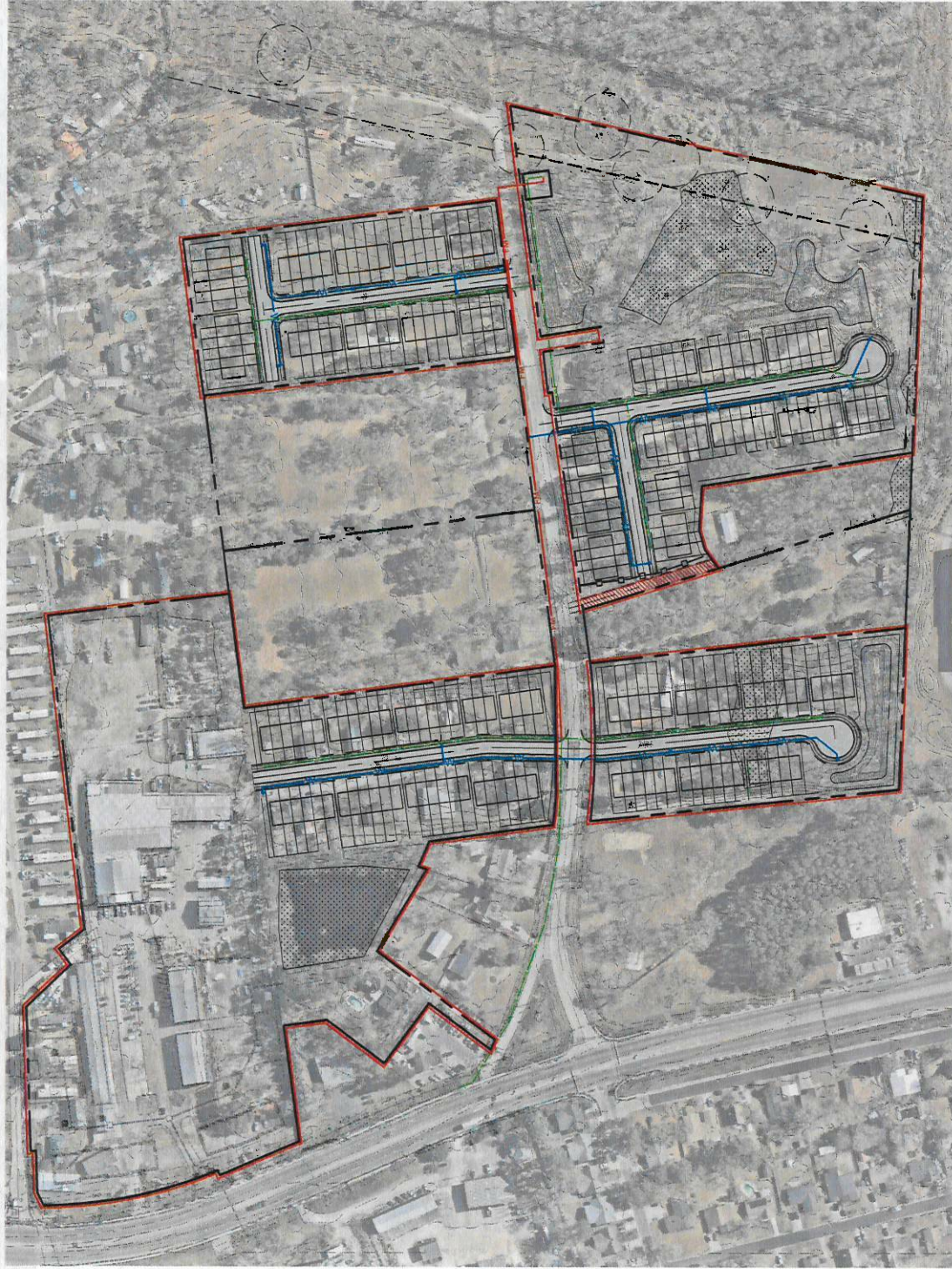


NOTES

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2. THIS IS A CONCEPTUAL MASTER PLAN WHICH SHOWS GENERAL LAND USE LOCATIONS AND CONFIGURATIONS. COMPONENT LOCATIONS AND FINAL DETAILS ARE SUBJECT TO CHANGE DURING DESIGN DEVELOPMENT.
3. ONLY IMPROVEMENTS PERMITTED UNDER THE ZONING ORDINANCE ARE ALLOWED IN THE BUFFER.

LEGEND

-  PD BOUNDARY
-  PROPERTY LINE
-  SS PROPOSED SEWER
-  W PROPOSED WATER
-  Fm PROPOSED FORCE MAIN



NOTES

1. ACRESSES LISTED FOR LAND USES ARE APPROXIMATE AND SUBJECT TO CHANGE DURING DESIGN DEVELOPMENT AND CONSTRUCTION PERMITTING. THE OVERALL DESIGN INTENT MUST BE UPHELD AND MINIMUM ACREAGE REQUIREMENTS FOR OPEN SPACE SHALL BE ADHERED TO.
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CITY COUNCIL

September 10, 2024, at 6:00 PM

City of Goose Creek Council Chambers, 519 N. Goose Creek Blvd.

Annexation/Zoning Map Amendment Berkeley Farms Planned Development

Tax Map:	233-00-00-057, 233-08-03-024, 233-08-03-018, 233-08-03-043, 233-08-03-035, 233-08-03-017, 233-08-03-020, 233-08-03-021, 233-08-03-054, 233-08-03-055, 233-08-03-022
Proposal:	Annex and assign zoning from Berkeley County General Commercial (GC) and Manufactured Residential District (R2) to Planned Development (PD) District
Applicant:	Reed Brownell, on behalf of 888 College Park Rd, LLC Jean Betty Heber Joanna Ridgeway
Acreage:	+/- 36.25 acres
Current Use:	Existing commercial uses, single-family detached dwellings, vacant
Proposed Use:	Planned Development
Land Use Classification:	Low-Density Residential
Current Zoning:	Berkeley County General Commercial (GC) and Manufactured Residential District (R2)
Proposed Zoning:	Planned Development (PD)

PLANS, POLICIES, AND LAND USE

The City of Goose Creek Comprehensive Plan (Amended February 13, 2024) has the subject parcel designated as Low-Density Residential. The Comprehensive Plan (February 13, 2024) designates Low-Density Residential areas in both new and existing neighborhoods that promote a sense of community. Development will be located where it can be served efficiently by infrastructure, facilities, services, and transportation networks.

The Land Use Section of the Comprehensive Plan designates College Park Road and surrounding areas as a target for annexation to encourage development of the area. Adjacent Future Land Use Designations includes Employment District and Moderate-Density Residential.

ZONING DISTRICT SUMMARY

A vicinity zoning map is provided in the packet. The subject parcels are located along College Park Road and Berkeley Farms Road. Surrounding parcels are zoned Goose Creek Light Industrial (LI), Berkeley County Manufactured Residential (R2), Berkeley County General Commercial (GC), and Berkeley County Mobile Home Park District (R3). Existing development includes light industrial manufacturing operations, a mobile home park, and several commercial businesses.

The Planned Development District is intended to integrate a well-planned mixed-use development in locations throughout the City. A range of residential and nonresidential uses are allowed, with the intent of providing a variety of housing options and mutually supportive nonresidential uses that serve the residents and the surrounding neighborhood. Substantial flexibility is provided, with an expectation that development quality will surpass what is otherwise achievable through the base zoning district. District standards shall support the efficient use of land and resources, protect natural features and the environment, promote greater efficiency in providing public facilities and infrastructure, and mitigate potential adverse impacts on surrounding development.

CASE ANALYSIS

The City of Goose Creek Zoning Code includes explicit provisions for all Planned Development Zoning Districts which ensures that Planned Developments use innovative and efficient land planning and physical design concepts. The full provisions and requirements for Planned Developments are included as an attachment. The Berkeley Farms Planned Development includes provisions that state where the development plan does not directly address a specific item, the most current version of the City of Goose Creek Zoning Code will control.

The proposed planned development includes two different districts to dictate land uses, the Residential District (RD) and Commercial District (CD). Permissible uses include single-family attached and detached dwelling units, multi-family dwellings (not to exceed 300 units across the entire development), accessory uses, light industrial uses, retail, office, restaurants, gas stations, hotel and general commercial uses. Prohibited uses include storage facilities, vape stores, car sales, and adult businesses.

RESIDENTIAL DISTRICT	
DENSITY / INTENSITY AND DIMENSIONAL STANDARDS	
Minimum Lot Area	1,600 SF
Minimum Lot Width	20'
Minimum Lot Depth	90'
Minimum Setbacks	
Front	25'
Side	5' & 15' Corner Lots
Rear	15'
Height	75'
Minimum Parking Requirement	2 per DU

COMMERCIAL DISTRICT	
DENSITY / INTENSITY AND DIMENSIONAL STANDARDS	
Minimum Setbacks	
Front	20'
Side	10'
Rear	20'
Height	75'
Minimum Parking Requirement	By Use

The Planned Development provides for 15% of the development area to be designated as open space. This will include active open space and passive open space which may include, but is not limited to, event spaces, walking trails, picnic areas, playground features, and community gardens.

This Planned Development includes a large commercial and light industrial area which is already under construction. Furthermore, the development will include 10% of single-family units minimum and 10% of multi-family units to be affordable housing to promote ownership and occupancy of affordable, quality housing by low-income households.

SCDOT:

College Park Road (S-8-62)

Functional Class: Urban – Major Collector

Annual Average Daily Traffic (AADT): 21,900

Berkeley Farms Road (S-567)

Functional Class: Local (Urban)

Annual Average Daily Traffic (AADT): 150

Berkeley Farms Road is maintained by SCDOT and Berkeley County

In its simplest form, AADT takes in all vehicle trips on a segment of road or highway during a yearlong interval, in both directions, and then divides the total by 365 days to arrive at the average number of daily trips.

Berkeley County GIS: School Attendance Boundaries:

Stratford High School

College Park Middle

College Park Elementary

Berkeley County GIS: Emergency Services:

Caromi Fire

EMS District 9

The applicant will be required to meet all standards by zone and requirements for site development detailed in the City of Goose Creek Zoning Code and Land Development Regulations.

PD: Planned Development District

(1) Purpose

The purpose of the Planned Development (PD) District is to encourage integrated and well-planned mixed-use development in locations throughout the City. A range of residential and nonresidential uses are allowed, with the intent of providing a variety of housing options and mutually supportive nonresidential uses that serve the residents and the surrounding neighborhood. Substantial flexibility is provided, with an expectation that development quality will surpass what is otherwise achievable through the base zoning district. District standards shall support the efficient use of land and resources, protect natural features and the environment, promote greater efficiency in providing public facilities and infrastructure, and mitigate potential adverse impacts on surrounding development.

(2) Intensity and Dimensional Standards

Standard	Requirements
Lot Area, min. (acres)	2 acres
Lot Width, min. (ft.)	To be established in PD Plan and PD Agreement document.
Impervious Surface Ratio, max. (%)	
Density, max. (du/acre)	
Intensity, max. (sf)	
Front Yard Setback, min. (ft.)	
Side Yard Setback, min. (ft.)	
Rear Yard Setback, min. (ft.)	
Building Height, max. (ft.)	
Other intensity and dimensional standards	

{3} General Provisions for All Planned Development (PD) Zoning Districts

The Purpose of Planned Development (PD) Zoning Districts is to encourage innovative and efficient land planning and physical design concepts. Planned Development (PD) Zoning Districts are intended to:

- {a}** Support a high quality of life and achieve a high quality of development, environmental sensitivity, energy efficiency, and provision of public services.
- {b}** Reduce the inflexibility of zoning district standards that sometimes results from strict application of the base district regulations, and development standards established in this Ordinance.
- {c}** Allow greater freedom and flexibility in selecting:
 - {1}** The form and design of development;
 - {2}** The ways by which pedestrians, cyclists, and vehicular traffic circulate;
 - {3}** How the development will be located and designed to respect the natural features of the land and the protect the environment;
 - {4}** How design amenities are to be applied; and
 - {5}** The location and integration of open space and civic space into the development.
- {d}** Preserve natural and scenic features.
- {e}** Encourage a greater mix of land uses within the same development, including a mix of nonresidential development, residential development, lot sizes, and densities and intensities.
- {f}** Allow more efficient use of land, with smaller networks of streets and utilities
- {g}** Provide pedestrian connection within the site, and to the public right-of-way
- {h}** Encourage the provision of centrally-located open space amenities on the site
- {i}** Promote development forms and patterns that respect the character of established surrounding neighborhoods and/or other types of land uses.
- {j}** Promote development form that respects and takes advantage of a site's natural and man-made features, such as rivers, lakes, wetlands, floodplains, trees, and historic resources.

{1} Minimum Size. The minimum size for a PD District shall be two (2) acres.

{2} Classification of Planned Development Zoning Districts. Land shall be classified into a PD zoning district only in accordance with the procedures for a map amendment.

{3} Organization of Planned Development Zoning District Regulations. The following general standards apply to all PD zoning districts, wherein a conflict with other sections occurs, the more restrictive shall apply.

{4} Standards for all Planned Development Zoning Districts

The application for the PD zoning district classification, as well as the PD Plan, PD Agreement, Development Phasing Plan, if any, and the Conversion Plan shall be incorporated into the final PD approval, and comply with the following standards:

{a} PD Plan

The PD Plan shall:

- {1}** Establish a statement of planning and development goals for the zoning district that is in accordance with the Comprehensive Plan and, as applicable, any adopted area, neighborhood, or corridor plans, as well as the purposes of the individual zoning district.
- {2}** Identify the specific principal, accessory, and temporary uses permitted in the zoning district. They should include a mix of uses, including both residential and nonresidential uses. Uses shall also be subject to applicable use specific standards identified in the PD plan, and any additional limitations or requirements applicable to the individual PD zoning district period.

- (3)** Establish the general location of each development area in the zoning district, its acreage, types and mix of land uses, number of residential units (by use type), residential density, and nonresidential intensity. Each residential density and nonresidential intensity shall be consistent with the purposes of the PD zoning district and the specific requirements of the individual PD zoning district.
- (4)** Establish the intensity and dimensional standards that apply in the individual PD zoning district. The intensity and dimensional standard shall be consistent with the requirements of the individual PD zoning district, and its purposes.
- (5)** Where relevant, established the standards and requirements that ensure development on the perimeter of the PD zoning district is designed and located to be compatible with the character of adjacent existing or approved development. Determination of compatible character shall be based on densities/ intensities, lot size and dimensions, building height, building mass and scale, form and design features, hours of operation, exterior lighting, and siting of service areas.
- (6)** Establish the general location, amount, and type (whether designated for active or passive recreation) of open space, consistent with the purposes of the individual PD zoning district.
- (7)** Identify the location of environmentally sensitive lands, resource lands, wildlife habitat, and waterway corridors, and indicate how protection of these lands will be assured consistent with the purposes of the individual PD zoning district and the requirements of this Ordinance.
- (8)** Identify the on-site pedestrian and bicyclist circulation systems, and how they will connect to off-site pedestrian and bicyclist systems in ways that are consistent with the purposes of the individual PD zoning district, and the requirements of this Ordinance.
- (9)** Identify the general design and layout of the on-site transportation circulation system, including the general location of all public streets, existing or protected transit corridors, and how they interface with the pedestrian circulation system (pedestrian and bicycle pathways, and trails), and connect to existing and planned city and regional systems and a manner consistent with the purposes of the individual PD zoning district, and the requirements of this Ordinance.
- (10)** Identify the general location of one site potable water and wastewater facilities, and how they will connect to existing and planned city and regional systems in a manner consistent with the purposes of the individual PD zoning district, and the requirements of this Ordinance.
- (11)** Identify the general location of on-site storm drainage facilities, and how they will connect to existing and planned city systems, and a manner consistent with the purposes of the individual PD zoning district, and the requirements of this Ordinance.
- (12)** Identify the general location and layout of all other on-site and off-site public facilities serving the development, and how they are consistent with the purposes of the individual PD zoning district. The other on-site and off-site public facilities considered shall include — but not limited to — parks, schools, emphasis cities for Fire Protection, police protection, emergency management, stormwater management, and solid wastewater management.
- (13)** Establish provisions addressing how transportation, potable water, wastewater, stormwater management, and other public facilities will be provided to accommodate the proposed development.
- (14)** Established the development standards that will be applied to the development. The development standards shall be consistent with the requirements of the individual PD

zoning district and its purposes, and the requirements of this Ordinance, as appropriate at a minimum, the development standards shall address:

- (a) Mobility, circulation, and connectivity
- (b) Off street parking and loading, bicycle parking
- (c) Landscaping
- (d) Form and design standards
- (e) Fences and walls
- (f) Exterior lighting
- (g) Tree protection
- (h) Signs
- (i) Open space, and
- (j) Neighborhood compatibility

(b) PD Agreement

(1) A PD Agreement is a required component for the establishment of a PD District. A PD Agreement shall include, but not be limited to:

- (1) Conditions related to approval of the application for the individual PD zoning district classification.
 - (2) Conditions related to the approval of the PD plan, including any conditions related to the form and design of development shown in the PD plan.
 - (3) Provisions addressing how public facilities (pedestrian and bicycle transportation, potable water, wastewater, stormwater management, and other public facilities) will be provided to accommodate the proposed development. This shall include but not be limited to:
 - (a) Recognition that the applicant/ landowner will be responsible to design and construct or install required and proposed on-site public facilities and compliance with applicable city, state, and federal regulations, and
 - (b) The responsibility of the applicant/ landowner to dedicate to the public the rights of way and easements necessary for the construction or installation of required and proposed on-site public facilities in compliance with applicable city, state, and federal regulations.
 - (4) Provisions related to environmental and cultural protection and monitoring (e.g., restoration of mitigation measures, annual inspection reports, cultural resources report).
 - (5) Mutual agreement that based on use, time lapse, or any other reasonable condition of development, a traffic study may be required but the City of Goose Creek, with the cost to the original developer or his his/her successor or both if substantial interest is shared.
 - (6) Provisions for a dedicated point of secondary access for subdivisions with greater than 50 lots.
 - (7) Identification of community benefits and amenities that will be provided to compensate for the added development flexibility afforded by the individual PD zoning district.
 - (8) Any other provisions the City Council determines are relevant and necessary to the development of the planned development.
- (2) All conditions shall be related in both type and amount to the anticipated impacts of the proposed development on the public and surrounding lands.

(c) Development Phasing Plan

If development and a PD zoning district is proposed to be phased, the PD plan shall include a development phasing plan that identifies the general sequence or phases in which the zoning district

is proposed to be developed, including how residential and nonresidential development will be timed, how infrastructure (public and private), open space, and other amenities will be provided and timed, and how environmentally sensitive lands will be protected and monitored.

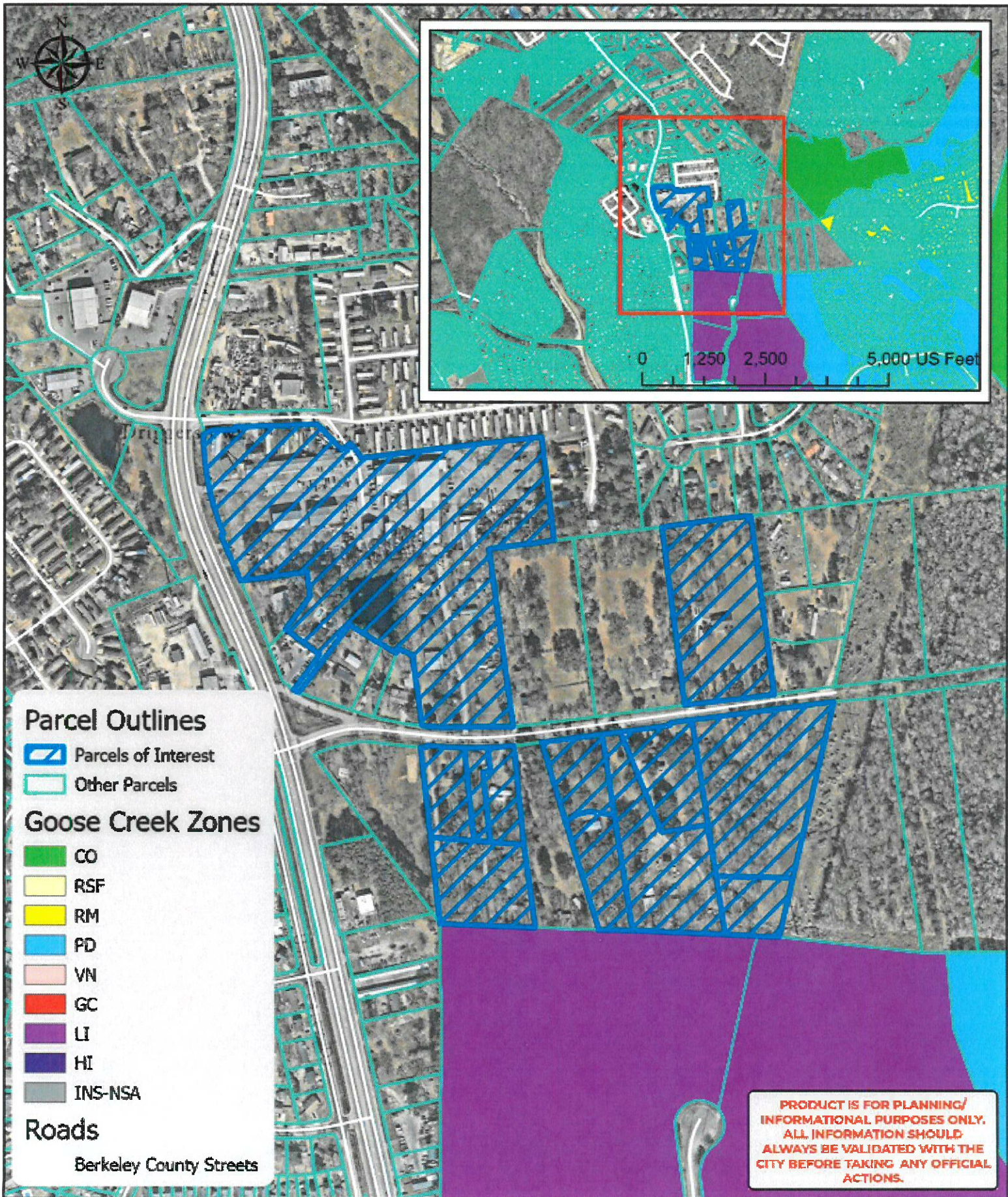
(d) Conversion Schedule

The PD Plan may include a conversion schedule that identifies the extent to which one type of use may be converted to another type of use.

(e) Minor Modifications

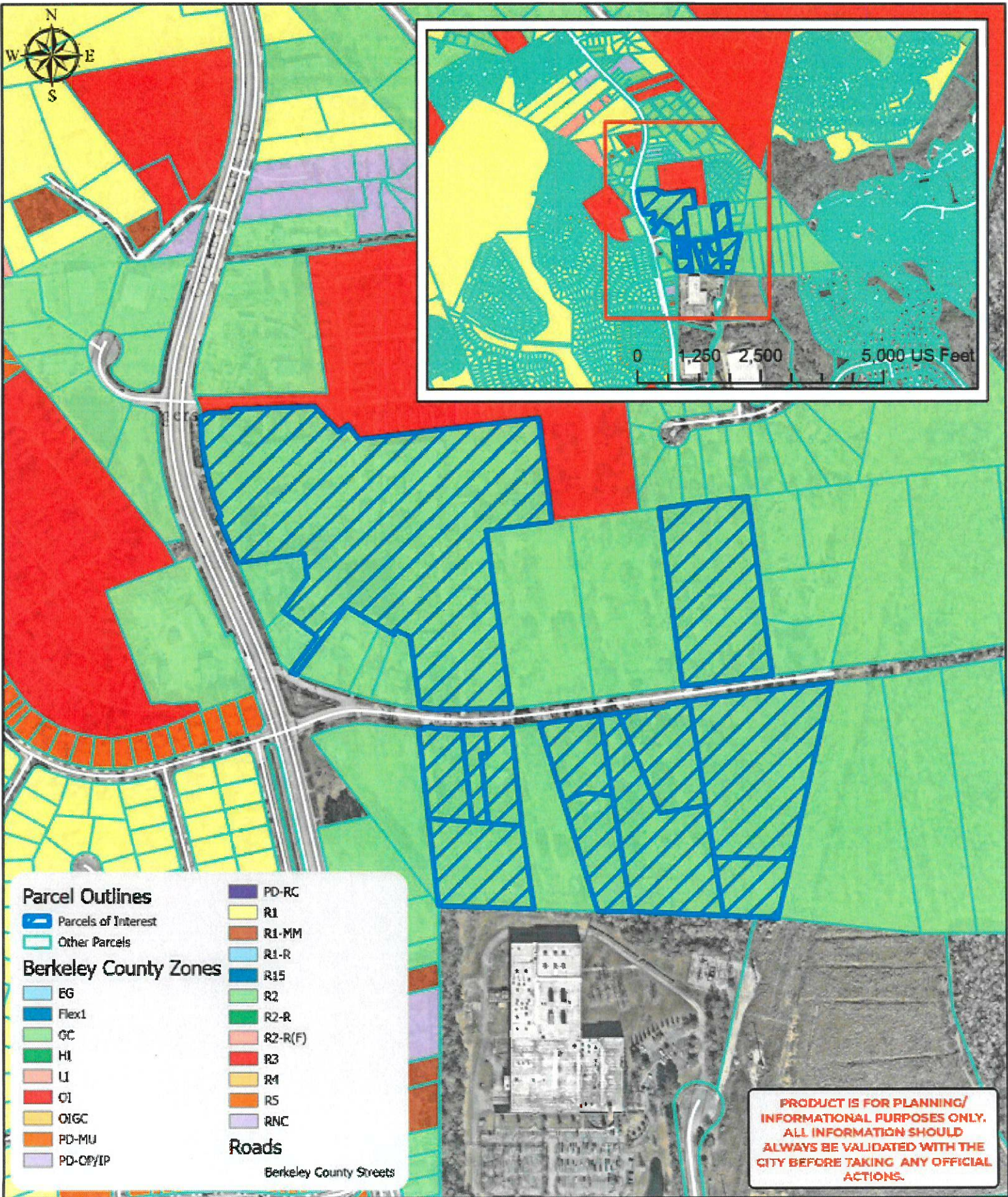
Subsequent applications for development approvals and permits within A PD zoning district that include minor modifications from the approved PD Plan or PD Agreement may be reviewed and decided upon, without the need to amend the PD zoning district, if the Zoning Administrator determines that such modifications consist of only the following:

- (1) Changes that result in a decrease in the density or intensity of development approved for a specific parcel;
- (2) An increase in residential density for any specific parcel of ten percent or less; if the total allowed density within the PD zoning district does not increase;
- (3) A change in a land designation from multifamily to single-family or a change from any use to open space/passive recreation;
- (4) A modification of design of facilities for amenities such as parks, gardens or open spaces; or
- (5) A deviation specifically listed in the approved PD Agreement as a minor deviation not materially affecting the PD zoning district's basic concept or the designated general use of parcels of land within the district.



Berkeley Farms Road

City of Goose Creek GIS Department
 519 N. Goose Creek Blvd
 Goose Creek, SC 29445
 (843) 797-6220 ext. 4270



CREEK COMPASS
City of Goose Creek

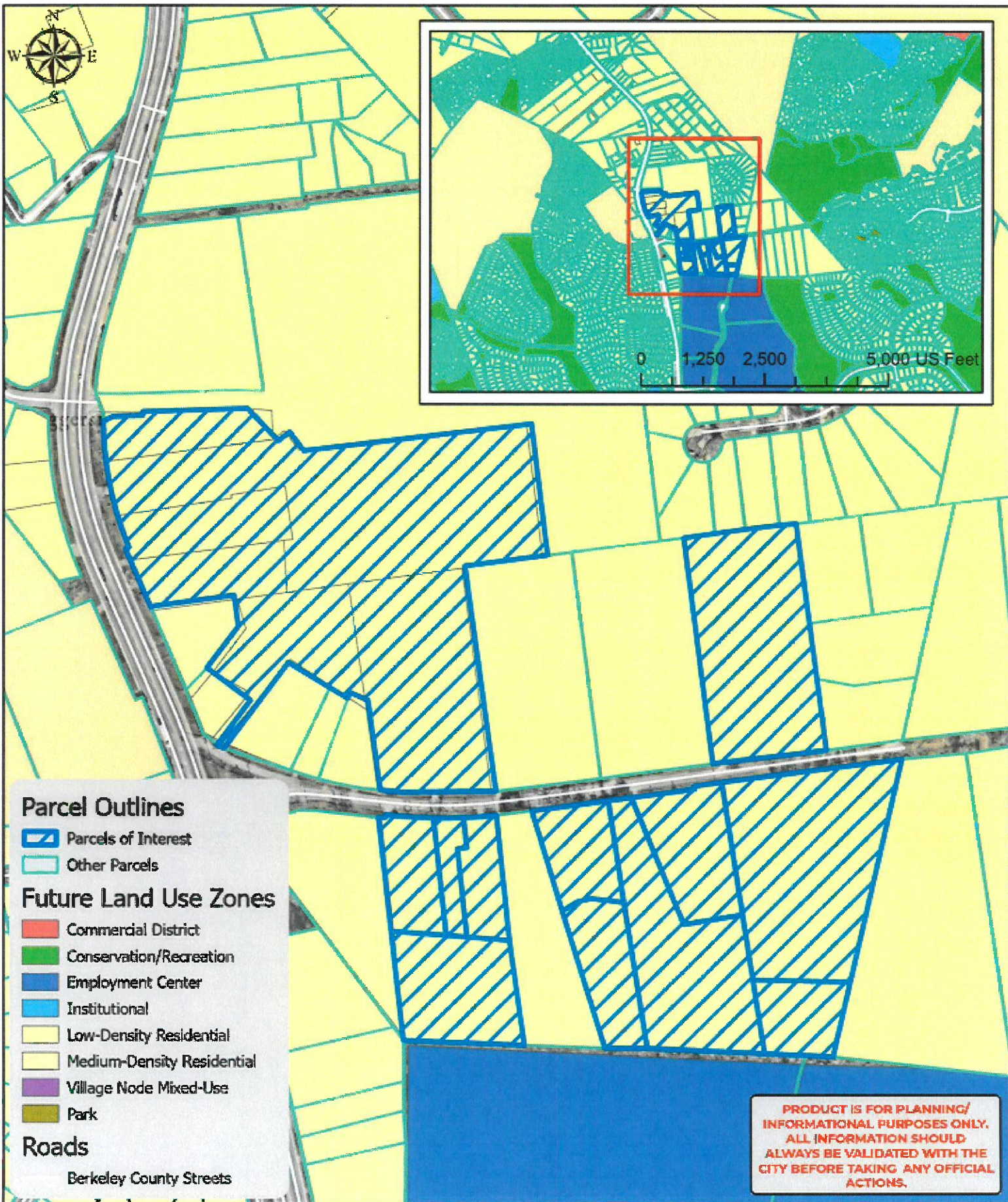
Berkeley Farms Road

City of Goose Creek GIS Department
519 N. Goose Creek Blvd
Goose Creek, SC 29445
(843) 797-6220 ext. 4270



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

Map as of 4/9/2024 5:29 PM



Parcel Outlines

-  Parcels of Interest
-  Other Parcels

Future Land Use Zones

-  Commercial District
-  Conservation/Recreation
-  Employment Center
-  Institutional
-  Low-Density Residential
-  Medium-Density Residential
-  Village Node Mixed-Use
-  Park

Roads

Berkeley County Streets

**PRODUCT IS FOR PLANNING/
INFORMATIONAL PURPOSES ONLY.
ALL INFORMATION SHOULD
ALWAYS BE VALIDATED WITH THE
CITY BEFORE TAKING ANY OFFICIAL
ACTIONS.**



Berkeley Farms Road

City of Goose Creek GIS Department
519 N. Goose Creek Blvd
Goose Creek, SC 29445
(843) 797-6220 ext. 4270

1:3,962



Map as of 4/9/2024 5:19 PM

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City off Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description: All of that lot of land in Berkeley Farms Subdivision, Berkeley County, S.C., about six miles from the Town of Summerville, and being known as Lot 21B, Berkeley Farms, butting and bounded as follows: on the North 308 feet by lands of West Virginia Pulp and Paper Company (Westvaco); on the East 289.8 feet by Lot #22 of Thomas E. Walker; on the South 305.5 feet by Lot 21A of Elizabeth W. Kennedy; and on the West 231.8 feet by Lot #20 of DeHarness.

TOGETHER with an easement as a means of ingress and egress forth (40') feet in width from the within described lot across Lot 21A to Berkeley Farms Road.

Being the same property conveyed to Jean Betty Heber by deed of Benjamin William Heber recorded April 30, 1990 in the ROD Office for Berkeley County in Book A-856, page 318 and also by deed of Elizabeth W. Kennedy dated January 31, 1976, which is recorded in the RMC Office for Berkeley County, South Carolina, in Deed book A-303, at Page 66.

Berkeley County TMS: 233-08-03-017

Property Address: Berkeley Farms Road

Proposed Zoning: Planned Development District (PD)

Attachments: Plat of Property, Deed, Planned Development Documents

311 Partridge Circle, Summerville Sc 29485
Street Address, City, State, Zip Code

Jean Betty Heber
Printed Name

Betty Jean Heber aka Jean Heber AKA Jean Betty Heber
Signature

Date 15 May 2024

For Municipal Use:

Petition received by Alexis Kiser, Date 07/25/2024

Description and Ownership verified by Alexis Kiser, Date 07/25/2024

By: Alexis Kiser, Date 07/25/2024

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City off Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description:

ALL that certain piece, parcel or lot of land, together with the buildings and improvements thereon, situate, lying and being in Second Goose Creek Tax District No. Eight, Berkeley County, South Carolina, containing 0.95 acres, more or less, as more particularly shown and delineated on a plat entitled "SUBDIVISION SURVEY OF 0.095 ACRES SURVEYED AT THE REQUEST OF JEAN BETTY HEBER, 2ND GOOSE CREEK PARISH, BERKELEY COUNTY, SOUTH CAROLINA", prepared by William H. Dennis RLS, dated December 8, 1998, and recorded in the RMC Office for Berkeley County in plat Cabinet N, at Page 397-A; said lot having such size, shape, dimensions, buttings and boundings as will by reference to said plat more fully appear.

THE within described property is conveyed subjects to easements, restrictions, covenants, conditions and matters of record, including, without limitation, the following: matters set forth on the plat referred to above as the same may affect the within property; rules and regulations of applicable governmental authorities; real property taxes for the year of delivery hereof.

BEING the same property conveyed to Betty Jean Heber by deed of Bryan Karl Yaeger et. al, dated August 4, 2006 and recorded September 5, 2006 in Book 5929, page 258 in the ROD Office for Berkeley County.

Berkeley County TMS: 233-08-03-018
Property Address: Berkeley Farms Road
Proposed Zoning: Planned Development District (PD)
Attachments: Plat of Property, Deed, Planned Development Documents

311 Partridge Cir, Summerville Sc 29489
Street Address, City, State, Zip Code

Betty Jean Heber
Print Name

Betty Jean Heber
Signature

15 on Day 24
Date

For Municipal Use:
Petition received by Alexis Kiser, Date 7/25/2024

Description and Ownership verified by Alexis Kaiser, Date 07/25/2024

By: [Signature], Date 07/28/2024

The undersigned, being 100 percent of the beneficial owners of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City of Goose Creek by ordinance effective as soon thereafter as possible pursuant to South Carolina Code Section 5-3-150(3)

The territory to be annexed is described as follows:

All that certain piece, parcel or lot of land, together with the buildings and improvements thereon, situate, lying and being in Section Goose Creek and Improvement No. Eight Berkeley County, South Carolina, containing 0.92 acres, more or less, as more particularly shown and delineated on a plat entitled "SUBDIVISION SURVEY OF GOOSE CREEK THE REQUEST OF JEAN BETTY HERBER, THE PARISH, BERKELEY COUNTY, SOUTH CAROLINA," prepared by William H. Dennis R.L.S. dated December 8, 1998, and recorded in the RMC Office for Berkeley County in Plat Cabinet 4, at Page 191-A, said plat having such size, shape, dimensions, outgoings and boundaries as will be referred to said plat more fully appear.

The within described property is conveyed subject to easements, restrictions, covenants, conditions and matters of record, including without limitation the following matters set forth on the plat referred to above as the same may affect the within property, rules and regulations of applicable governmental authorities and property taxes for the year of delivery hereof.

BEING the same property conveyed in Betty Jean Herber by deed of Bryan Herber Yager et al. dated August 4, 1994 and recorded September 2, 1996 in Book 3439, page 258 in the RMC Office for Berkeley County.

Property Description:

Attachments: Plat of Property, Deed, Planned Development Agreement
Proposed Zoning: Planned Development District (PDD)
Property Address: Berkeley Farm Road
Berkeley County TMS: 177-02-03-018

City of Goose Creek
10000
[Signature]
[Signature]

Person received by: [Signature]
Date: 07/28/2024

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City of Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description: ALL that certain piece, parcel or lot of land, together with all buildings and improvements thereon, situate, lying and being in Second Goose Creek Tax District No. Eight, Berkeley County, South Carolina, containing 1.10 acres, more or less, and designated as Lot NO. 1, on a plat entitled "PLAT OF 2.21 ACRES SURVEYED AT THE REQUEST OF MARY K. YAEGER", prepared by William H. Dennis, R.L.S., on August 18, 1986, and revised August 29, 1986, and recorded in File Cabinet F at page 374; and having such shape, form, coursed, distances, buttings, boundaries and delineations as are more fully shown on said plat.

BEING the same property conveyed to Jean Heber by deed Carl H. Kennedy and Elizabeth W. Kennedy, dated June 6, 2003 and duly recorded June 10, 2003, in the ROD Office for Berkeley County in Book 3355, Page 250.

Berkeley County TMS: 233-08-03-035, 233-08-03-043

Property Address: Berkeley Farms Road

Proposed Zoning: Planned Development District (PD)

Attachments: Plat of Property, Deed, Planned Development Documents

311 Partridge Circle, Summerville SC 29485
Street Address, City, State, Zip Code

Jean Heber
Printed Name

Betty Jean Heber AKA Jean Heber AKA Jean Heber
Signature Date
15 May 2024

For Municipal Use:
Petition received by Alexis Kiser, Date 07/25/2024
Description and Ownership verified by Alexis Kiser, Date 07/25/2024
By: [Signature], Date 08/13/2024

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City of Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description: ALL that certain piece, parcel or tract of land, together with any improvements thereon, situate and being in the County of Berkeley, State of South Carolina, designated as "TRACT TOTAL AREA 714,356 SQ. FT. (16.398 AC.)" on a Plat by Raymond B. Dawber, SCPLS, entitled "Recombination Plat for RCB Development 888 College Park Road, Summerville, Berkeley County, SC 29486 TMS # 233-00-00-057, 233-08-03-034, -032, -031, -030, -027" dated February 10, 2023, and recorded in the ROD Office for Berkeley County, South Carolina on May 11, 2023 in Instrument No. 2023013781.

Being the same property conveyed to 888 College Park Rd, LLC by deed of JKW Properties, LLC dated August 15, 2022 and recorded August 16, 2022, in Berkeley County ROD Office in Book 4337, page 529.

Berkeley County TMS: 233-00-00-057
Property Address: College Park Road
Proposed Zoning: Planned Development District (PD)
Attachments: Plat of Property, Deed, 888 College Park Rd, LLC, Planned Development Documents

695 Meeting Street, Suite 110, Charleston, SC 29403
Street Address, City, State, Zip Code

Reed Brownell on behalf of 888 College Park Rd, LLC

Print Name


Signature

5/9/24
Date

For Municipal Use:

Petition received by Alexis Kiser, Date 7/25/2024

Description and Ownership verified by Alexis Kiser, Date 7/25/2024

By: Alexis Kiser, Date 7/25/2024

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City of Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description: All that certain piece, parcel or lot of land, together with the buildings and improvements thereon, situate lying and being in the College Park Area in Berkeley County, South Carolina, MEASURING AND CONTAINING 3.229 acres, more or less, and designated as Lot 19 on a plat entitled "SURVEY OF LOT 19 OWNED BY (TMS 233-08-03-021) THOMAS C. JONES JR. AND THE CREATION OF LOT 19A BEING CONVEYED TO MY GRAND DAUGHTER JOANNA LYNN JONES, COLLEGE PARK AREA, BERKELEY COUNTY, SOUTH CAROLINA" dated January 24, 2012, prepared by Paul C. Lawson, Jr., Surveyor No. 14191, Ashley Land Surveying, Inc., No. 002179 and recorded in the Office of the Register of Deeds for Berkeley County in Plat Cabinet P, Page 62P.

Said tract having such size, shape, dimensions, buttings and boundings and easements as reference to said plat will more fully appear, which plat is made a part and parcel of this legal description by reference.

Being the same property conveyed to Joanna Lynn Jones by deed of Thomas C. Jones, Jr., dated March 8, 2012 and recorded in the Office of the Register of Deeds for Berkeley County on March 8, 2012 in Volume 9354 at Page 24.

Berkeley County TMS: 233-08-03-021
Property Address: Berkeley Farms Road
Proposed Zoning: Planned Development District (PD)
Attachments: Plat of Property, Deed, Planned Development Documents

148 Berkeley Farms Rd, Summerville Se 29486
Street Address, City, State, Zip Code

Joanna Lynn Jones Joanna Ridgeway Plk/A Joanna Lynn Jones 5/20/2024
Print Name Signature Date

For Municipal Use:
Petition received by Alexis Kiser , Date 07/25/2024
Description and Ownership verified by Alexis Kiser , Date 07/25/2024
By: [Signature] , Date 08/13/2024

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City of Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description: TMS# 233-08-03-055 - 4.60 ACRES, MORE OR LESS, BERKELEY FARMS, BERKELEY COUNTY, SC

ALSO

TMS# 233-08-03-022 - 1.00 ACRES, MORE OR LESS, BERKELEY FARMS, 160 BERKELEY FARMS ROAD, SUMMERVILLE, SC 29483 BERKELEY COUNTY

Being the same property devised to Joanna Ridgeway by Thomas Clyde Jones, Jr. as evidenced by Deed of Distribution dated August 27, 2013 and recorded August 27, 2013 in Berkeley County ROD Office in Volume 10337, page 304.

Berkeley County TMS: 233-08-03-055, 233-08-03-022

Property Address: Berkeley Farms Road

Proposed Zoning: Planned Development District (PD)

Attachments: Plat of Property, Deed, Planned Development Documents

148 Berkeley Farms Rd, Summerville Sc 29486
Street Address, City, State, Zip Code

Joanna Ridgeway
Print Name

Joanna Ridgeway Plk/A Joanna Lynn Jones
Signature Date 5/20/2024

For Municipal Use:

Petition received by Alexis Kiser, Date 07/25/2025

Description and Ownership verified by Alexis Kiser, Date _____

By: J. C. [Signature], Date 07/25/2024

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City of Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description: All that certain piece, parcel or lot of land, designated as Lot 19A, together with all improvements situate, lying and being in the College Park area, Berkeley County, South Carolina, measuring and containing one and five hundred eighty-five thousandths (1.585) acres which is more accurately depicted on an plat by Paul C. Lawson, Jr. Dated January 24, 2012 recorded in Plat Cabinet P, Page 62P.

A portion of TMS 233-08-03-021

Being the same property conveyed to Joanna Lynn Jones by Deed of Thomas C. Jones, Jr. dated January 27, 2012 and recorded February 7, 2012 in the Berkeley County ROD Office in Volume 9307, page 93.

Berkeley County TMS: 233-08-03-054

Property Address: Berkeley Farms Road

Proposed Zoning: Planned Development District (PD)

Attachments: Plat of Property, Deed, Planned Development Documents

148 Berkeley Farms Rd, Summerville Sc 29486
Street Address, City, State, Zip Code

Joanna Lynn Jones
Print Name

Joanna Ridgeway FKA Joanna Lynn Jones
Signature Date 05/20/2024

For Municipal Use:

Petition received by Alexis Kiser Date 07/25/2024

Description and Ownership verified by Alexis Kiser Date 07/25/2024

By: [Signature] Date 07/13/2024

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City of Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description: All that certain piece, parcel or lot of land, together with all buildings and improvements thereon, situate, lying and being in Berkeley Farms Subdivision, in the County of Berkeley, State of South Carolina, about six (6) miles South of the Town of Summerville, and being more particularly shown and designated as Lot 5 on that certain plat entitled: "Map of Driggers Tract, Owned by Jack Blackwell, et al, near Mt. Holly, Berkeley County, South Carolina", dated April 15, 1955, by W.L. Gaillard, Surveyor, recorded in the RMC Office for Berkeley County in Plat Book I, at Page 153. Said Lot 5 contains 4.13 Acres as shown on said plat.

Being the same property conveyed to 888 College Park Rd, LLC by deed of MidFirst Bank, dated March 8, 2023 and recorded March 9, 2023 in Book 4500, page 962 in the Berkeley County ROD Office.

Berkeley County TMS: 233-08-03-024

Property Address: Berkeley Farms Road

Proposed Zoning: Planned Development District (PD)

Attachments: Plat of Property, Deed, Planned Development Documents, 888 College Park Rd., LLC.

695 Meeting Street, Suite 110, Charleston, SC 29403
Street Address, City, State, Zip Code

888 College Park Rd, LLC

By: Reed Brownell

Print Name


Signature

5/9/24
Date

For Municipal Use:

Petition received by Alexis Kiser, Date 07/25/2024

Description and Ownership verified by Alexis Kiser, Date 07/25/2024

By: [Signature], Date 07/25/2024

STATE OF SOUTH CAROLINA)
)
COUNTY OF BERKELEY)

PETITION FOR ANNEXATION

The undersigned, being 100 percent of the freeholders owning 100 percent of the assessed value of the property in the contiguous territory described below and shown on the attached plat or map, hereby petition for annexation of said territory to the City of Goose Creek by ordinance effective as soon hereafter as possible, pursuant to South Carolina Code Section 5-3-150(3).

The territory to be annexed is described as follows:

Property Description:

All that certain piece, parcel or lot of land, with any and all improvements thereon, situate, lying and being in the College Park Area, County of Berkeley, State of South Carolina, measuring and containing 1.09 acres, more or less, shown and designated as LOT "20A" on a Plat entitled "SUBDIVISION SURVEY OF TMS 233-08-03-020 CONTAINING 2.31 ACRES BEING LOT 20 BLK A BERKELEY FARMS SUBDIVISION LOCATED AT 146 BERKELEY FARMS ROAD DIVIDED INTO LOT "20A" 1.09 ACRE FOR JENNINGS BOAN AND LOT "2B" 1.22 ACRE FOR ALICE NANNETTE DUBOSE," prepared by J. Hugh Campbell, Jr. PLS No.: 7615, dated January 12, 2010, revised March 13, 2010, revised August 23, 2010, recorded on January 27, 2011 and found of record in the Office of the Register of Deeds for Berkeley County, South Carolina, in Plat Cabinet O at Page 187P.

Said tract having such size, shape, dimensions, buttings and boundings and easements as reference to said plat will more fully appear, which plat is made a part and parcel of this legal description by reference; SAVING AND EXCEPTING from the general description above that certain strip of land containing 1,559 SF (0.036 acres) along the right of way of Berkeley Farms Road acquired by the South Carolina Department of Transportation, PIN 38779 RD01, Tract 50.

SUBJECT to any and all restrictions, covenants, conditions, easements, rights of way and all other matters affecting subject property of record in the Office of the Register of Deeds for Berkeley County, South Carolina including the general utility and ingress/egress easement as shown on said plat above.

Being the same property conveyed to Joanna Ridgeway by deed of Trevor D. Ridgeway dated November 29, 2022 and recorded November 29, 2022 in Berkeley County ROD at Book 4424, page 324.

Berkeley County TMS: 233-08-03-020
Property Address: Berkeley Farms Road
Proposed Zoning: Planned Development District (PD)
Attachments: Plat of Property, Deed, Planned Development Documents

148 Berkeley Farms Rd, Summerville Se 29486
Street Address, City, State, Zip Code

Joanna Ridgeway
Print Name
Joanna Ridgeway fka Joanna Lynn Jones
Signature
5/20/2024
Date

For Municipal Use:
Petition received by Alexis Kiser, Date 7/25/2024
Description and Ownership verified by Alexis Kiser, Date 7/25/2024
By: [Signature], Date 7/25/2024